



VILLAGE OF WILLIAMS BAY

250 Williams Street | PO Box 580 | Williams Bay | WI | 53191 | williamsbay.org

Phone: 262-245-2700

NOTICE

STREETS & HIGHWAYS (S&H) COMMITTEE MEETING MONDAY, JUNE 20, 2022 AT 6:30 PM VILLAGE HALL COUNCIL ROOM

AGENDA

The following agenda items may be considered for Discussion, Consideration, or Action

- I. Call to Order
- II. Roll Call
- III. 119 Conference Point
- IV. Adjourn

Matt Stanek
Streets and Highways Chair

Requests from persons with disabilities, who need assistance to participate in this meeting or hearing, should be made to the Village Clerk's office in advance so the appropriate accommodations can be made.

Posted: 06/17/2022 5:00 PM

VILLAGE OF WILLIAMS BAY
Engineer's Report
May 25, 2022

119 Conference Point Road – Project No. 200689

PRELIMINARY

- Enclosed is a December 6, 2021, notification to the property owner. We are unaware of any modifications by the property owner since the date of this letter.
- Figure 1 is an aerial sketch of the property from the Walworth County GIS.
- We visited the site during a May 25, 2022, rain event and observed the flow path of the water near the property owner's driveway. See Figure 2—the storm drainage is not entering the property as it did prior to the house construction and does not conform to the approved site plan for the house construction.
- The condition, as it exists, will cause more rapid deterioration of the pavement and slick spots on Lincoln Street and Lackey Drive. It may also cause damage to the property at 113 Conference Point Road.
- The property owner was warned several times about this issue prior to placing the new drive.

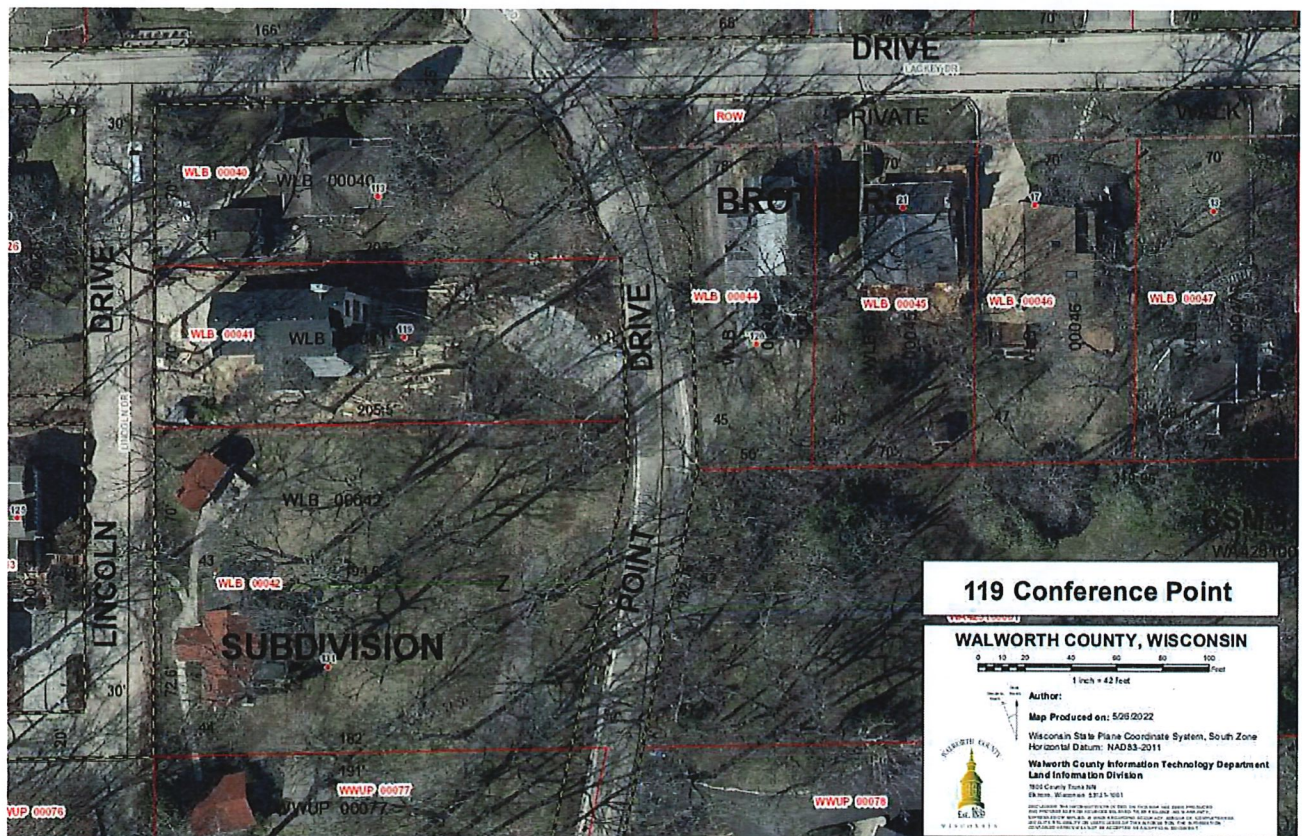


Figure 1 – Aerial Sketch

VILLAGE OF WILLIAMS BAY
Engineer's Report
May 25, 2022

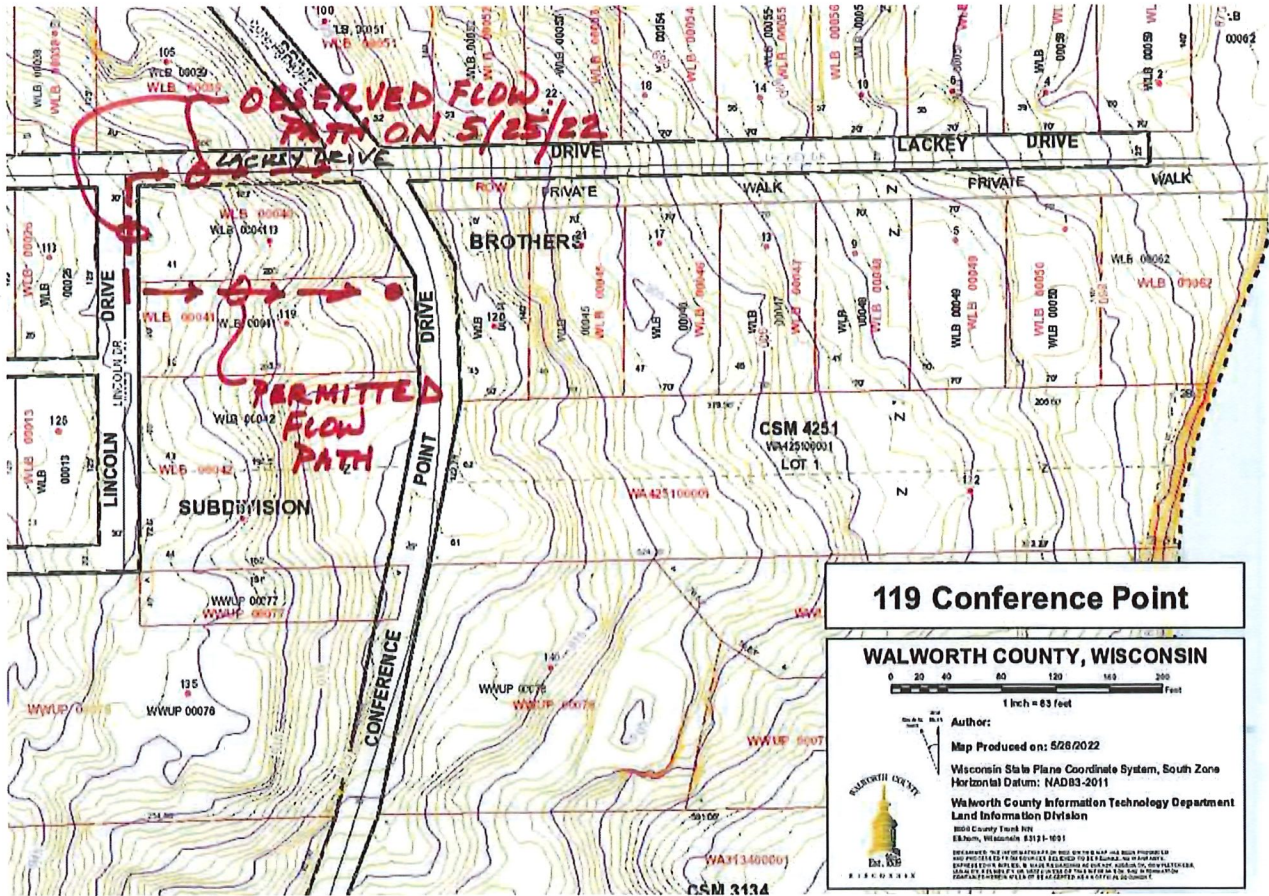


Figure 2 – Observed and Permitted Drainage on 05-25-22

December 6, 2021

John M. Sherrier
119 Conference Point Road
Williams Bay, WI 53191
Delivered Via Email: John Sherrier <sherrier119@gmail.com>

Subject: Construction Deficiencies at 119 Conference Point Road

Dear Mr. Sherrier,

On November 17, 2021 we observed the project site at 119 Conference Point Road following the installation of the concrete driveway and final site grading. Enclosed is the July 14, 2020 approved plan. We note the following deficiencies between the actual installation and the approved plan:

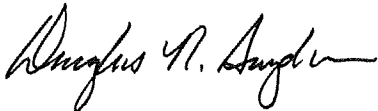
1. There is fill on the property at 132 Conference Point Road. The fence is located on the neighbor's property; your fill material is against the fence. Please remove the fill material from the neighbor's property and establish the drainage shown on the approved plan.
2. The concrete drive does not allow water to drain as shown on the approved plan. Modify the concrete driveway to conform to the approved plan. The enclosed letter you provided from Mackie Consultants was issued prior to the installation of the concrete drive.

On behalf of the Village of Williams Bay we are informing you that you have until May 15, 2022 to correct these deficiencies. If not corrected by this date we will place this item on the agenda for possible Village Board action.

Please call if you have any questions.

Sincerely,

BAXTER & WOODMAN, INC.
CONSULTING ENGINEERS



Douglas R. Snyder, P.E.

DRS/drs
Encs.

Cc: Becky Tobin (email)

I:\CRYSTAL LAKE\WLMSV\200689-119 CONFERENCE POINT\CONSTRUCTION DEFICIENCIES.DOC



Possible Post Construction Remedies - Driveway and Drainage at 119 Conference Point Road

1 message

Douglas R. Snyder <dsnyder@baxterwoodman.com>

Wed, Jan 12, 2022 at 4:14 PM

To: John Sherrier <[REDACTED]>

Cc: Bonnie Schaeffer <zoning@williamsbay.org>, "Becky Tobin (admin@williamsbay.org)" <admin@williamsbay.org>, Wayne Edwards <wedwards@williamsbay.org>

Hi Jack,

As a follow-up to the December 6, 2021 notice of deficiencies, Becky asked us to give you some guidance on what options may be acceptable to the Village at this point in time for your driveway and drainage from Lincoln Drive. Attached is the attached approved plan and snips from Google Earth (May of 2021) showing a much larger driveway than on the approved plan; water does not drain from Lincoln Drive as intended by the approved plan. We see the following options for possible remedies:

1. See the sketch in the November 12, 2020 email below, except note the storm sewer easement is not needed – replace only the curb and make the curb (and Lincoln Drive) drain to a point in the curb just north of your existing driveway and transfer the water by catch basin inlet and storm sewer pipe to a spot in your yard that will drain by gravity. This option will require new curb, a new catch basin, and storm sewer pipe, but will prevent you from removing your driveway. Have your contractor provide a sketch to the Village for approval.
2. Replace the driveway with one matching the dimensions and drainage of the approved plan.
3. Provide a revised plan with alternate concept.

We hope this helps. Let us know if you have questions.

Douglas R. Snyder, P.E.
Wisconsin Manager

direct: 815.444.3349 | mobile: 262.492.1462

email: dsnyder@baxterwoodman.com

www.baxterwoodman.com

256 S. Pine St., Burlington, WI 53105

BAXTER & WOODMAN
Consulting Engineers

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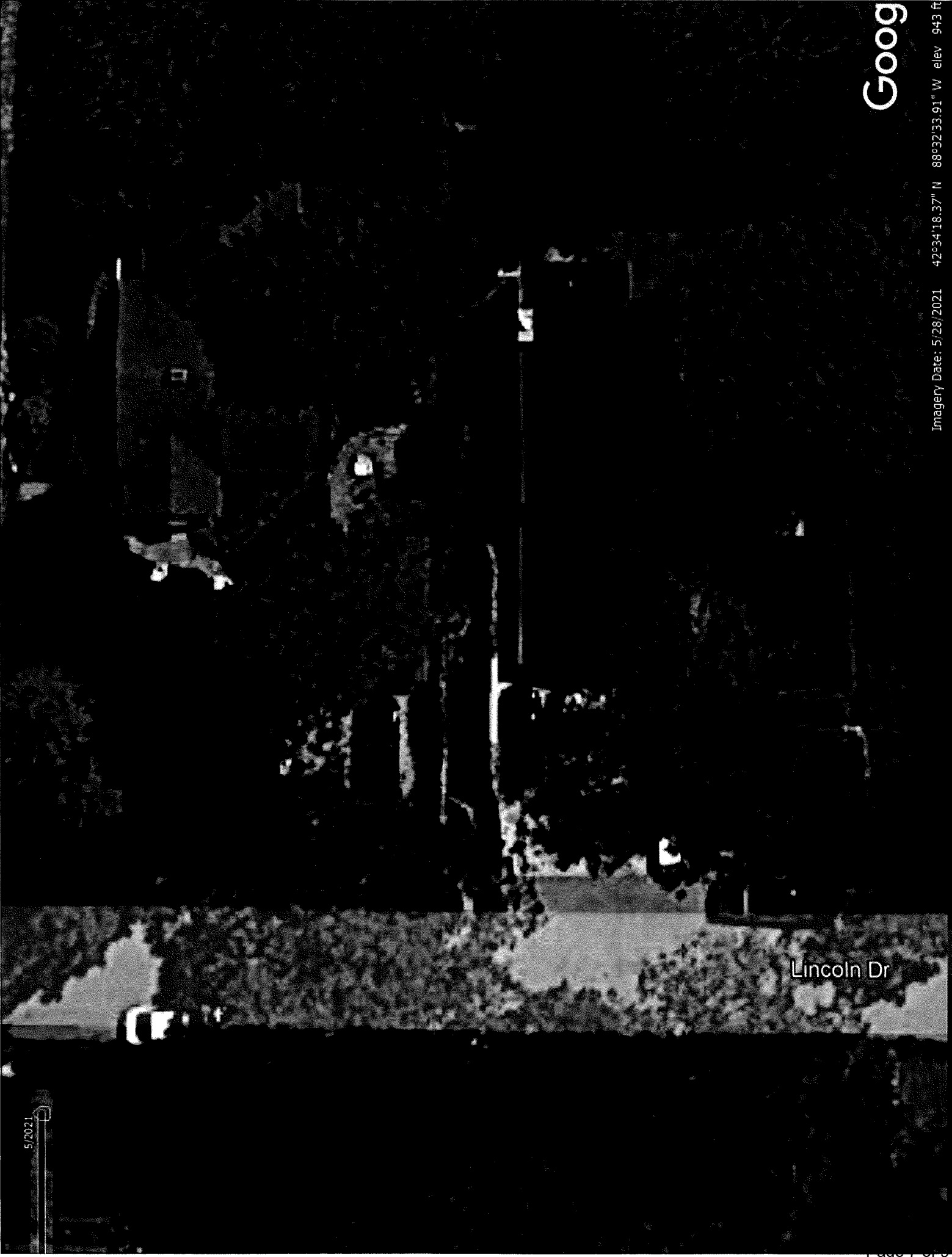
Jack,

[illegible]

I will wait for your call.

Doug

I sent this to KJ Concrete. But after you spoke with him, he would not



Goog

Imagery Date: 5/28/2021 42°34'18.37" N 88°32'33.91" W elev 943 ft

Lincoln Dr

5/2021

On Thu, Oct 22, 2020 at 6:29 PM KJ Concrete <[REDACTED]> wrote:

Hi Jack

Attached is the bid you requested. please let me know if you have any questions.

thanks

Kyle

KJ Concrete

On Fri, Oct 23, 2020 at 8:30 PM John Sherrier <[REDACTED]> wrote:

Kyle — I have your proposal , it looks good. I have some questions, and need figure out how to pour the north side. You can help. I hope the weather cooperates. I will be in touch.

Jack Sherrier
[REDACTED]

On Wed, Nov 11, 2020 at 5:09 PM John Sherrier <[REDACTED]> wrote:

Kyle — The village engineer is asking to meet with us at my property. He Would like to explain what the driveway approach should look like. He is asking for tomorrow or Friday. Can you please advise me of your availability?

Jack Sherrier
[REDACTED]

From: John Sherrier [REDACTED]

Sent: Thursday, November 12, 2020 10:13 AM

To: Bonnie Schaeffer zoning@williamsbay.org ; Douglas R Snyder <dsnyder@baxterwoodman.com>; inspector@williamsbay.org

Subject: Re KJ Concrete / 119 Conference Point Rd

I sent this to KJ Concrete But after you spoke with him, he would not return my calls. So I have tried to get in touch with him through this attached email I have called several other concrete contractors and most have told they are booked through years end, or that it is to late in the season Should I be able to secure a new contractor I will contact you for a consultation.

We are anxious to bring this matter to a close

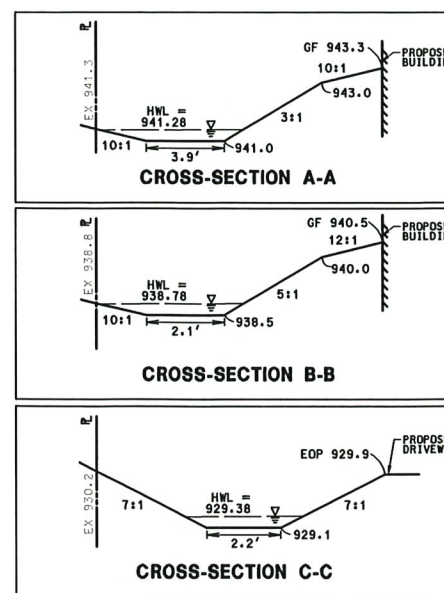
Thank you for your time and consideration.

Jack Sherrier
[REDACTED]

1. EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS ON JULY 23, 2019 PREPARED BY METROPOLITAN SURVEY SERVICE, INC. CONTRACTOR SHALL VERIFY ALL EXISTING FIELD CONDITIONS PRIOR TO START OF CONSTRUCTION AND NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES.
2. ALL DISTURBED AREAS SHALL BE RESTORED WITH A MINIMUM OF 4" INCHES OF TOPSOIL AND SEEDED.
3. EXCAVATION AND EMBANKMENT SHALL BE PERFORMED PER THE WISCONSIN STATE ADMINISTRATIVE CODE AND VILLAGE OF WILLIAMS BAY ORDINANCES. LATERAL EROSION SHALL BE PREVENTED.
4. GRADING INDICATED MAY NEED TO BE ADJUSTED BASED ON FIELD CONDITIONS. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES WITH FIELD CONDITIONS PRIOR TO FINE GRADING.
5. BUILDING FOUNDATION AREA INDICATED PER CONSTRUCTION STAKING ON AUGUST 28, 2019 PREPARED BY METROPOLITAN SURVEY SERVICE, INC. GRADING MAY NEED TO BE ADJUSTED PER CONSTRUCTED FOUNDATION.
6. OVERFLOW DRAINAGE ROUTES AND SWALES MUST BE INSTALLED AT THE ELEVATION AND LOCATION SHOWN.
7. DO NOT INTERRUPT DRAINAGE FROM OFF SITE DURING CONSTRUCTION OPERATIONS. PROVIDE TEMPORARY DRAINAGE DITCHES WHERE REQUIRED.
8. CONTRACTOR SHALL MEET EXISTING GROUND ELEVATIONS AT PROPERTY LINE, UNLESS OTHERWISE NOTED AND THE APPROPRIATE EASEMENTS OR PERMISSION HAS BEEN OBTAINED.
9. BUILDING TOP OF FOUNDATION ELEVATION INDICATED PER PLAT OF SURVEY DATED OCTOBER 15, 2019 BY METROPOLITAN SURVEY SERVICE, INC. WALK OUT AND GARAGE ELEVATIONS PROVIDED BASED ON METROPOLITAN SURVEY SERVICE, INC. SURVEY DATED OCTOBER 15, 2019 BY MADDOCCARD CUSTOM HOME DESIGN.
10. TEMPORARY STABILIZATION SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING OPTIONS:
a. TEMPORARY SEEDING CONSISTING OF ANNUAL RYE GRASS APPLIED AT A RATE OF 15 LBS PER 1,000 SQUARE FEET;
b. EROSION CONTROL MAT;
c. EROSION CONTROL MAT.
11. ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITHIN 30 DAYS OF DISTURBANCE WITH TEMPORARY SEEDING AND CLASS II, TYPE B (URBAN) EROSION MATTING. ALL SLOPES GREATER THAN 4:1 SHALL BE STABILIZED WITH CLASS II, TYPE B MATTING.

1. THE SEDIMENT AND EROSION CONTROL DEVICES SHALL BE FUNCTIONAL BEFORE ANY LAND IS DISTURBED ON THE SITE.
2. STOCKPILES OF SOIL SHALL NOT BE LOCATED WITHIN ANY DRAINAGE WAYS, FLOODPLAINS, WETLANDS OR BUFFERS.
3. SEDIMENT AND EROSION CONTROL SHALL BE PROVIDED FOR ANY STOCKPILE IF IT IS REQUIRED FOR MORE THAN THREE DAYS INCLUDING A DOUBLE ROW OF SILT FENCE OR COR ROLL.
4. PROPERTIES AND SPECIAL MANAGEMENT AREAS DOWNSTREAM FROM THE SITE SHALL BE PROTECTED FROM EROSION. THE VOLUMES OF SEDIMENT, EROSION AND PEAK FLOODS OF THE STORMWATER RUNOFF ARE TEMPORARILY INCREASED DURING CONSTRUCTION.
5. THE SURFACE OF STRIPPED AREAS SHALL BE PERMANENTLY OR TEMPORARILY PROTECTED FROM EROSION WITHIN 30 DAYS AFTER FINAL GRADE IS REACHED. STRIPPED AREAS THAT REMAIN UNDISTURBED SHALL BE PROTECTED WITHIN 60 DAYS AFTER INITIAL DISTURBANCE SHALL BE PROTECTED FROM EROSION.
6. WATER PUMPED OR OTHERWISE DISCHARGED FROM THE SITE DURING CONSTRUCTION DOWNGRADE SHALL BE FILTERED.
7. A STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROVIDED TO PREVENT THE DEPOSIT OF SEDIMENT ON PUBLIC OR PRIVATE ROADWAYS. ANY SOIL REACHING A PUBLIC OR PRIVATE ROADWAY SHALL BE REMOVED BEFORE THE END OF EACH WORKDAY.
8. ALL TEMPORARY EROSION CONTROL MEASURES NECESSARY TO MEET PERMITS AND REQUIREMENTS OF THE VOLUME 10 OF THE STORMWATER AND FLOOD PLAN ORDINANCE SHALL BE KEPT IN PLACE UNTIL THE PERIOD OF LAND DISTURBANCE UNTIL PERMANENT SEDIMENT AND EROSION CONTROL MEASURES ARE OPERATIONAL.
9. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRY (30) DAYS AFTER STABILIZATION IS ACHIEVED. TRAPPED SEDIMENT AND OTHER DISTURBED SOILS RESULTING FROM TEMPORARY MEASURES SHALL BE PROPERLY DISPOSED OF PRIOR TO PERMANENT STABILIZATION.
10. SITE AND ADJOINING PUBLIC WAYS AND ADJOINING PUBLIC PROPERTY SHALL BE KEPT IN A SAFE AND CLEAN CONDITION AT ALL TIMES DURING CONSTRUCTION.
11. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE CURRENT WISCONSIN DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS (DNR-WISCONSIN). THESE STANDARDS ARE CURRENTLY UNDER REVIEW. THE APPLICABLE STANDARDS SHALL BE OBTAINED AND REFERENCE THE MOST RECENTLY RELEASED STANDARDS.

1. THE INDIVIDUAL STEPS IN THE FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FINAL ARCHITECTURAL PLANS. IF CONFLICT SHOULD OCCUR, THE OWNER/SHOULDER SHOULD BE CONTACTED IMMEDIATELY.
2. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED DURING CONSTRUCTION PER MUNICIPAL STORM WATER POLLUTION PREVENTION SPECIFICATIONS, DETAILS AND NOTES.
3. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF.
4. ONLY THOSE BUILDING LINE SETBACKS AND EASEMENTS WHICH ARE SHOWN ON THE RECORDED PLAT OF EASEMENTS ARE SHOWN HEREON. REFER TO THE DEED, TITLE INSURANCE POLICY AND LOCAL ORDINANCES FOR OTHER RESTRICTIONS. OR REFER TO THE DEED, TITLE INSURANCE POLICY AND LOCAL ORDINANCES FOR ADDITIONAL RESTRICTIONS.
5. NO DIMENSIONS SHALL BE DERIVED FROM SCALE MEASUREMENTS.
6. ACCORDING TO OUR INTERPRETATION OF THE FLOOD INSURANCE RATE MAP, THE FLOOD ZONE OF THE HEREON DESCRIBED PROPERTY FALLS WITHIN ZONE "X" AS IDENTIFIED OUTSIDE THE ANNUAL 0.2% FLOODPLAIN AS AREAS BY 55127C0308D, MAP REVISION DATE OF OCTOBER 2, 2009 SUBJECT TO MAP INTERPRETATION AND CHANGING.
7. REFER TO PLAT OF SURVEY DATED NOVEMBER 12, 2019 BY METROPOLITAN SURVEY SERVICE, INC. FOR EASEMENT, SETBACK, LEGAL DESCRIPTION, EXISTING TOPOGRAPHY, AND BENCHMARK INFORMATION.
8. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITION OF THE VILLAGE OF WILLAMETTE ORDINANCES. THE VILLAGE STANDARD SPECIFICATIONS SHALL PROVIDE ALL SPECIFICATIONS FOR THE DETAILED DRAWINGS FURNISHED FOR THIS DEVELOPMENT.



REFER TO STORMWATER
MANAGEMENT CALCULATIONS FOR
CROSS-SECTION DETAILS

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SAID IMPROVEMENTS OR ANY PART THEREOF, OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREA, OR DRAINS WHICH THE SUBDMOR HAS A RIGHT TO USE AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE IMPROVEMENTS.

ENGINEER'S SIGNATURE

ENGINEER'S SEAL

LOT 42 IN LACKEY BROTHERS SUBDIVISION VILLAGE OF WILLIAMS BAY, BEING IN THE WEST LINE OF THE EAST HALF OF THE SOUTHEAST 1/4 OF SECTION 1 NORTH OF RANGE 16 EAST IN THE VILLAGE OF WILLIAMS BAY, WALWORTH COUNTY, WISCONSIN.

PROPERTY CONTAINS 14,296 SQUARE FEET (0.328 ACRES) MORE OR LESS

WLB 0004

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AS WELL AS SUPERVISION, DIRECTION AND MEANS & METHODS OF CONSTRUCTION

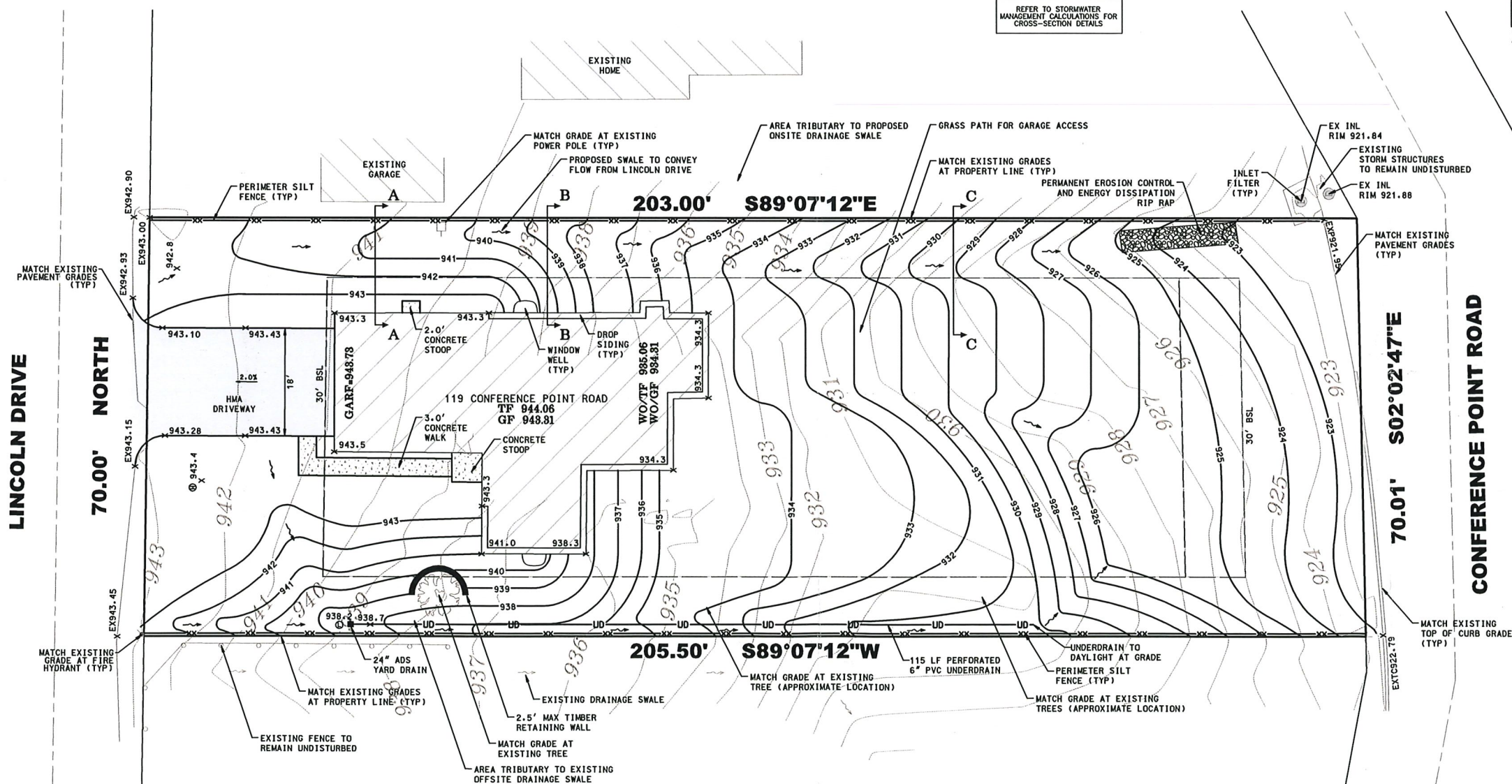
BUILDING	- 1,786 SF
DRIVEWAY	- 624 SF
SERVICE WALK	- 113 SF
DECK*	- 362 SF
TOTAL IMPERVIOUS	- 2885 SF
TOTAL IMPERVIOUS	- 20.2 %

*REFER TO ARCHITECTURAL PLANS FOR ANTICIPATED DECK LOCATION

TOLL FREE 800-242-8511 OR 811
HEARING IMPAIRED TDD 800-542-2289
WWW.DIGGERSHOTLINE.COM

CALL BEFORE YOU DIG

--- BUILDING LINE
 --- BUILDING SETBACK LINE(BSL)
 --- EASEMENT LINE
 --- EXISTING RIGHT-OF-WAY LINE
 --- EXISTING LOT LINE
 --- SANITARY SEWER
 --- STORM SEWER
 --- EDGE OF WATER
 ○ MANHOLE(MH)
 ○ CATCH BASIN(CB)
 ○ INLET(IN)
 □ FLARED END SECTION(FES)
 ☼ FIRE HYDRANT(FH)
 S SANITARY STAMP
 W WATER STAMP
 □ HANDHOLE(HH)
 □ CABLE PEDESTAL(PEDC)
 □ ELECTRIC PEDESTAL(PED E)
 □ TELEPHONE PEDESTAL(PEDT)
 □ MAILBOX(MB)
 20"○ DECIDUOUS TREE(SIZE IN INCHES)
 --- SWALE
 --- XXXX --- CONTOUR LINE
 XXXX SPOT ELEVATION
 PAVXXX PAVEMENT ELEVATION
 TOP CURB ELEVATION
 TOP OF DEPRESSION CURB ELEVATION
 WALK ELEVATION
 FIR FOUND IRON ROD
 GARF FOUND IRON PIPE
 GF GARAGE FLOOR
 GF GRADE AT FOUNDATION
 INV INVERT
 PVC POLYVINYL CHLORIDE PIPE
 RCP REINFORCED CONCRETE PIPE
 RETW RETAINING WALL
 SAN SANITARY
 SBM SITE BENCHMARK
 STM STORM
 WF TOP OF FOUNDATION
 WO/GF WALK OUT GRADE AT FOUNDATION
 WO/TF WALK OUT TOP OF FOUNDATION
 HWT MIX ASPHALT (HMA)
 BUILDING
 RIP RAP
 SILT FENCE
 FF + XXXX FINISHED FLOOR ELEVATION
 TF + XXXX TOP OF FOUNDATION
 GF + XXXX GRADE AT FOUNDATION
 HIGH OR LOW POINT
 OVERLAND FLOOD ROUTE
 PAVEMENT FLOW DIRECTION
 SWALE FLOW DIRECTION
 CONTOUR LINE



Mackie Consultants, LLC
9575 W. Higgins Road, Suite 500
Rosemont, IL 60018
(847)696-1400
www.mackieconsult.com

CLIENT:

119 CONFERENCE POINT ROAD
WILLIAMS BAY, WISCONSIN 53191
PHONE: 847-651-5406

			DESIGNED	KJM
			DRAWN	SGS
			APPROVED	KJM
07/14/20	REVISED PER VILLAGE COMMENTS	KTK	DATE	06/19/20
06/26/20	REVISED PER VILLAGE COMMENTS	SGS	SCALE	1' = 10'
DATE	DESCRIPTION OF REVISION	RY		

SITE GRADING PLAN
119 CONFERENCE POINT ROAD
WILLIAMS BAY, WISCONSIN

SHEET

1 OF 1

PROJECT NUMBER:	3936
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