



# VILLAGE OF WILLIAMS BAY

250 Williams Street | PO Box 580 | Williams Bay | WI | 53191 | vi.williamsbay.wi.gov

Phone: 262-245-2700

## NOTICE

### ZONING BOARD OF APPEALS (ZBA) MEETING

TUESDAY, APRIL 21, 2026 AT 6:30 PM

Village Hall Council Room

250 Williams Street

Williams Bay, WI 53191

The meeting will be live-streamed on the Village of Williams Bay's YouTube, which can be found here: <https://youtube.com/live/Q7r5dA-s2pY?feature=share>

## AGENDA

The following agenda items may be considered for Discussion, Consideration, or Action

**I. Call to Order**

**II. Roll Call**

**III. Pledge of Allegiance**

**IV. Minutes**

- A. Zoning Board of Appeals Meeting Minutes of December 16, 2025

**V. Variance Application**

- A. Motion to Open Public Hearing - All interested in this matter are invited to attend  
APPLICANT(S): Renee Lanam  
TAX KEY NUMBER: WLW 00027  
STREET ADDRESS: 22 Upper Loch Vista Drive, Williams Bay, WI 53191  
The applicant requests a variance to zoning code section 390-0212, SF-6 Village Residential District, to allow for a second story and attic addition on a portion of the home that already exists within the required side yard setback of 10 feet, rear yard setback of 30 feet, and shore yard setback of 150 feet.
- B. Motion to Close Public Hearing
- C. Consideration and Possible Action on Recommendation of Variance

**VI. Adjournment**

George Vlach  
Chairman

*Requests from persons with disabilities, who need assistance to participate in this meeting or hearing, should be made to the Village Clerk's office in advance so the appropriate accommodations can be made.*

Posted: 04/17/2026 5:00 PM



# VILLAGE OF WILLIAMS BAY

250 Williams Street | PO Box 580 | Williams Bay | WI | 53191 | vi.williamsbay.wi.gov

Phone: 262-245-2700

## UNOFFICIAL MINUTES ZONING BOARD OF APPEALS MEETING 12/16/2025 MEETING TUESDAY, DECEMBER 16, 2025 AT 6:30 PM VILLAGE HALL COUNCIL ROOM 250 WILLIAMS STREET WILLIAMS BAY, WI 53191

**THERE MAY BE A QUORUM OF VILLAGE TRUSTEES PRESENT, NO BOARD BUSINESS WILL BE CONDUCTED.**

### I. Call to Order

Clerk Kolls called the meeting to order at 06:30pm.

### II. Roll Call

Present: Trustee Robert Umans, Commissioners Dennis Costello, Tom Lothian, Mike Fieweger

Also Present: Zoning Administrator Allison Schwark, Tina Kolls

Excused: Trustee George Vlach, Commissioner Matt Robbins

The Motion to select Trustee Umans to chair the remainder of the meeting was initiated by Commissioner Fieweger and seconded by Commissioner Costello. Unanimously Carried.

### III. Pledge of Allegiance

The Pledge of Allegiance was recited by all.

### IV. Minutes

#### A. Zoning Board of Appeals Meeting Minutes of November 18, 2025

The motion to approve the Zoning Board of Appeals Meeting Minutes of November 18, 2025 was initiated by Commissioner Lothian and seconded by Commissioner Fieweger. Unanimously carried.

### V. Variance Application

#### A. Motion to Open Public Hearing - All interested in this matter are invited to attend APPLICANT(S): Elain Macalister (Applicant), Jops and Macalister Family Trust (Owners) TAX KEY NUMBER: WL2 00005

STREET ADDRESS: 43 Lower Loch Vista Drive, Williams Bay, WI 53191

The applicants request a variance to zoning code section 390-0212, SF-6 Village Residential District, to allow a basement and first floor building addition that would convert an existing three season room to living space that already exists within the required rear yard setback of 30 feet. The applicant is requesting a 5.9-foot rear yard setback.

Trustee Umans opened the public hearing at 06:33 pm.

Jack Williams, 53 Lower Loch Vista Drive, spoke in favor

Thelma Parker, 2 Lackey Drive, spoke in favor  
Ryan MacKay, 187 Conference Point Rd, spoke in favor

**B. Motion to Close Public Hearing**

Trustee Umans closed the public hearing at 06:56 pm.

**C. Consideration and possible action on recommendation of Variance**

The motion to deny the variance to zoning code section 390-0212, SF-6 Village Residential District, to allow a basement and first floor building addition that would convert an existing three-season room to living space that already exists within the required rear yard setback of 30 feet. The applicant is requesting a 5.9-foot rear yard setback was initiated by Commissioner Costello and seconded by Commissioner Fieweger. Unanimously carried.

**Votes:**

Yes: Commissioners Costello, Lothian, and Fieweger

No: Trustee Umans

Abstain: None

Result: Passes

**VI. Adjournment**

The motion to adjourn was initiated by Commissioner Lothian and seconded by Commissioner Costello at 07:11pm. Unanimously carried.

/s/ Tina Kolls, Village Clerk

*These are not official Minutes until approved by the Governing Body.*

**OFFICIAL PUBLICATION**  
FOR THE  
**VILLAGE OF WILLIAMS BAY**  
**Walworth County, Wisconsin**

**NOTICE OF PUBLIC HEARING**  
FOR A  
**VARIANCE APPLICATION**  
BEFORE THE  
**ZONING BOARD OF APPEALS**  
April 21, 2026, at 6:30 PM  
Village Hall Council Room  
250 Williams Street

**APPLICANT(S):** Renee Lanam (Owner)

**TAX KEY NUMBER:** WLW 00027

**STREET ADDRESS:** 22 Upper Loch Vista Drive, Williams Bay, WI 53191

Applicant requests a variance to zoning code section 390-0212, SF-6 Village Residential District, to allow for a second story and attic addition on a portion of the home that already exists within the required side yard setback of 10 feet, rear yard setback of 30 feet, and shore yard setback of 150 feet.

All interested in the above matter are invited to attend. Copies of the application are on file at the Village Hall and are available for public inspection during regular office hours on Monday, Tuesday, Wednesday, Friday from 8:30 am – 5:00 pm and Thursday 8:30 am – 12:00 pm.

Tina Kolls  
Village Clerk  
Published April 2, 2026 and April 9, 2026

# STUART · TOKARZ · SOBERALSKI · POLLARD LLC

MILWAUKEE OFFICE: 414-800-4117 | 309 N. WATER STREET SUITE 250

DELAVAN OFFICE: 262-728-9196 | 617 E. WALWORTH AVENUE

March 9, 2026

*via email (zoning@vi.williamsbay.wi.gov) and U.S. Mail.*

## **Village of Williams Bay**

c/o Allison Schwark  
P.O. Box 580  
250 Williams Street  
Williams Bay, WI 53191

Re: Submission of Zoning Permit and Variance Application and  
Materials for Parcel WLW 00027

Dear Allison:

Our office represents Ms. Renee Lanam, in connection with her property located at 22 Upper Loch Vista Drive, Williams Bay, WI 53191, identified as Walworth County Tax Parcel WLW 00027 and the forthcoming zoning and variance request. Enclosed with this letter, please find the following:

1. A fully executed zoning permit application;
2. A fully executed variance application;
3. Addendum A;
4. GIS Map showing general location of property;
5. Zoning map of the property;
6. Topographic Plat of Survey prepared by Chris Hodges of Farris, Hansen & Associates;
7. List of owners within 200 feet;
8. Construction plans prepared by Aspect Design, Inc.;
9. Zoning plans prepared by Aspect Design, Inc.;
10. Letters of Support;
11. Supplemental letter; and
12. Agreement to reimburse.

These materials are being provided for purposes of effectuating the proposed remodel of 22 Upper Loch Vista Drive, Williams Bay, WI 53191.

We trust that this submission will be sufficient for the April 21, 2026 Zoning Board of Appeals meeting. If you require any additional information or documentation, please do not hesitate to contact our office at 262-728-9196.

Very truly yours,

By: electronically signed by Charles W. Pollard  
Charles W. Pollard  
[cpollard@stspaw.com](mailto:cpollard@stspaw.com)

CWP/ah



# Zoning Permit Application Village of Williams Bay

250 Williams Street x PO Box 580 x Williams Bay, WI 53191  
Phone: 262-245-2700 x Fax: 262-245-2705

Request:

Please check all that apply.

- Residential Principal Use 1 or 2 Family \$175.00
- Residential Addition \$75.00
- Residential Accessory Use \$75.00
- Fence \$75.00
- Deck \$75.00
- Swimming Pool \$100.00
- Commercial Principal Use (includes multi-family) \$150.00
- Commercial Addition \$100.00
- Commercial Accessory Use \$100.00
- Signage \$50.00 first 20 sq. ft. plus \$.50 per sq. ft. thereafter
- Lakefront and Shoreyard Projects \$75.00
- Other: \_\_\_\_\_ Fee: \_\_\_\_\_

Date application was received:

Fee Paid: \_\_\_\_\_

Please answer all applicable. Missing or incomplete information may deem this application "incomplete," delaying or prohibiting a review.

Owner's Name: Renee Lanam Phone No.: 847-899-1515

Mailing Address: 22 Upper Loch Vista Drive, Williams Bay, WI 53191

Applicant's Name: Renee Lanam Phone No. 847-899-1515

Mailing Address: 22 Upper Loch Vista Drive, Williams Bay, WI 53191

Physical Address of Site: 22 Upper Loch Vista Drive, Williams Bay, WI 53191 Tax Parcel No: WLV 00027

Subdivision Name: Loch Vista Club Lot No. \_\_\_\_\_ Block No. \_\_\_\_\_

Current Zoning of Site: SF-6 Current Overlay Districts of Site: NONE

Proposed type of structure: Addition to 2nd Floor & Attic on Existing 1st Floor Footprint

Proposed use of structure or site: Single Family Residence

Lot Area 11,855 sq. ft. Proposed Bldg. / Structure Footprint Area 2,275 sq. ft.

Existing Building Coverage on Site: 19.2 % Proposed No Change %

Existing Impervious Surface Coverage on Site: 29.62 % Proposed No Change %

Proposed Setbacks: Front See Variance Rear \_\_\_\_\_ Left \_\_\_\_\_ Right \_\_\_\_\_

Proposed Building Height 34' ft.

Applicant's Signature: [Signature] Date: 3-9-26

OFFICE USE ONLY:

PERMIT FEES:		PERMIT ISSUED BY:	
Permit	\$ _____	Name:	_____ Date: _____
Admin Fee	\$ _____	Tel:	_____ Permit No. _____
Other	\$ _____		
Total	\$ _____		

CONDITIONS OF APPROVAL:



# APPLICATION OF A VARIANCE

(Requirements per Zoning Ordinance Section 18.1215)

Applicant name: Renee Lanam

Applicant address: 22 Upper Loch Vista Drive, Williams Bay, WI 53191

Applicant phone number: 847-899-1515

Address of subject site: 22 Upper Loch Vista Drive, Williams Bay, WI 53191

Current zoning of subject site: SF-6

Current land use of subject site: Single Family Residence

Written description of the proposed variance: See Attached

Written justification for the proposed variance (or attach as a separate sheet): See Attached

## Requirements

- Map of the subject property showing its general location in relation to the Village as a whole.
- Map of the subject property at a scale of not less than 1" equals 800 feet showing:
  - Current zoning of the subject property and lands within 200 feet of the subject property and the jurisdiction(s) that maintains that control.
  - All lot dimensions of the subject property.
  - Graphic scale and a north arrow.
- Names and addresses of the owners of all lands within 200 feet of subject property as they appear on the current tax records of the Village of Williams Bay.
- Site Plan of the subject property as proposed for development (see Site Plan application requirements).

Dated this 9 day of March, 2026

Respectfully submitted,

  
\_\_\_\_\_  
(Signature of Applicant)

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Record of Administrative Procedures for Village Use

- Application form filed with Village Clerk Date: \_\_\_\_\_ By: \_\_\_\_\_
- Application fee of \$\_\_\_\_\_ received by Village Clerk Date: \_\_\_\_\_ By: \_\_\_\_\_
- Reimbursement of professional consultant costs agreement executed Date: \_\_\_\_\_ By: \_\_\_\_\_
- Certification that application is complete by Zoning Administrator Date: \_\_\_\_\_ By: \_\_\_\_\_
- Evaluation report prepared by Zoning Administrator Date: \_\_\_\_\_ By: \_\_\_\_\_
- Notified Neighboring Property Owners (within 200 feet) Date: \_\_\_\_\_ By: \_\_\_\_\_
- Notified Neighboring Township Clerks (within 1,000 feet) Date: \_\_\_\_\_ By: \_\_\_\_\_
- Class 2 legal notice sent to official newspaper by Village Clerk Date: \_\_\_\_\_ By: \_\_\_\_\_
- Class 2 legal notice published on \_\_\_\_\_ and \_\_\_\_\_ Date: \_\_\_\_\_ By: \_\_\_\_\_
- Zoning Board of Appeals public hearing  
*(Within 30 days of certification application as complete by Zoning Administrator)* Date: \_\_\_\_\_ By: \_\_\_\_\_
- Review/ action by Zoning Board of Appeals  
*(Within 30 days of public hearing)* Date: \_\_\_\_\_ By: \_\_\_\_\_

## Addendum A

### Variance Request

The Owners request a variance to zoning code section § 390-0212, SF-6 Village Residential District, to allow for a second story and attic addition to an existing legal nonconforming residence entirely within the existing first floor footprint and within the required interior side yard setback of 10 feet, rear yard setback of 30 feet, and shore yard setback of 150 feet.

### Unique Property Limitations

- Irregular Flag Lot
- Abuts Upper Loch Vista Drive, Unnamed Drive, and Geneva Lake
- Increased Setback Distances due to Double Frontage and Corner Lot
- Shallow Lot at 180 Feet of Depth on Geneva Lake
- Steep Topography with 15-20 Feet of Change in Slope
- Mature Trees with Tree Line Over Southern Lot Line
- 430 sq. ft. and 270 sq. ft. disconnected buildable footprints



Subject Lot (.31 acre)  
430 sq. ft. / 270 sq. ft. severed footprints



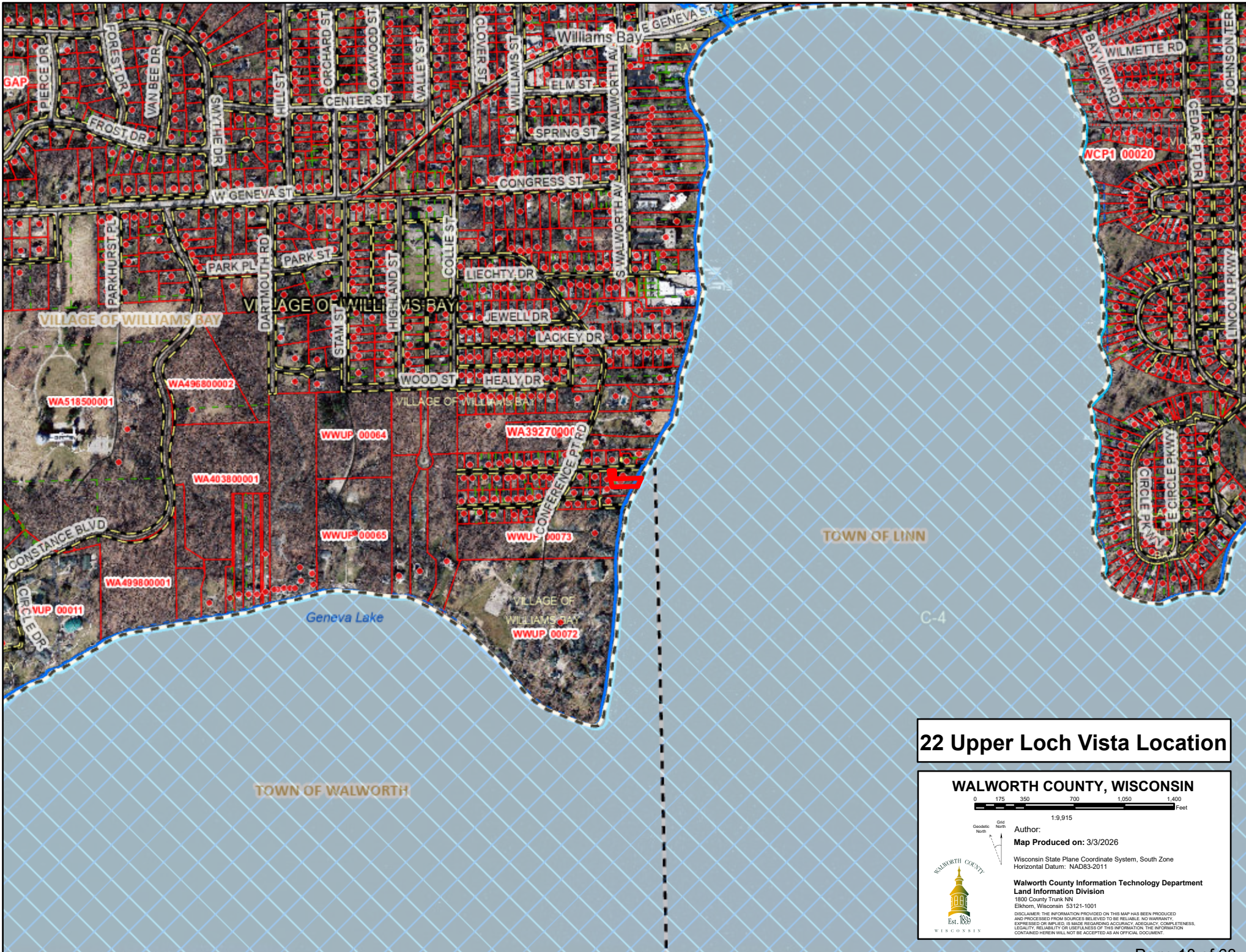
Standard Lot (.31 acre)  
5,970 sq. ft.

### Unreasonable Hardship

- Purpose of setback ordinances is to regulate building placement to protect safety, maintain neighborhood character, prevent conflicts between properties, and preserve environmental resources.
- Due to the unique lot and enhanced setback restrictions the literal enforcement of the setbacks ordinances creates practical difficulty and unnecessary hardship because the owners are unable to remodel a home originally constructed in the 1900s to current building design and standards.
- Approval of only vertical expansion does not move the residence any closer to Geneva Lake maintaining environmental protection and uniform setbacks.
- Remodel versus new construction preserves neighborhood character

### No Harm to Public Interests

- 13 Neighboring Property Owners Voiced Support for the Variance
- “Very Happy” plans keep the established placement of homes on the shoreline.
- Remodel Versus Tear Down and New Build Lessens Impact of Construction in the Neighborhood
- No Known Opposition to Variance Request



## 22 Upper Loch Vista Location

**WALWORTH COUNTY, WISCONSIN**

0 175 350 700 1,050 1,400 Feet

1:9,915

Geodetic North Grid North

Author:  
**Map Produced on: 3/3/2026**

Wisconsin State Plane Coordinate System, South Zone  
 Horizontal Datum: NAD83-2011

**Walworth County Information Technology Department  
 Land Information Division**  
 1800 County Trunk NN  
 Elkhorn, Wisconsin 53121-1001

DISCLAIMER: THE INFORMATION PROVIDED ON THIS MAP HAS BEEN PRODUCED AND PROCESSED FROM SOURCES BELIEVED TO BE RELIABLE. NO WARRANTY, EXPRESS OR IMPLIED, IS MADE REGARDING ACCURACY, ADEQUACY, COMPLETENESS, SECURITY, RELIABILITY OR USE. IN CASE OF THIS INFORMATION, THE INFORMATION CONTAINED HEREIN WILL NOT BE ACCEPTED AS AN OFFICIAL DOCUMENT.

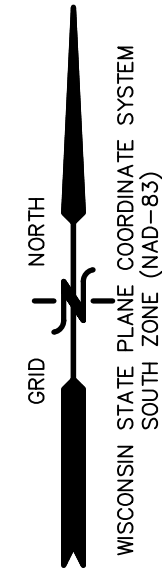


# PLAT OF SURVEY – TOPOGRAPHY MAP LOTS 34 OF THE UPPER LOCH VISTA

LOCATED IN THE SE 1/4 OF THE SE 1/4 OF SECTION 1,  
TOWN 1 SOUTH, RANGE 16 EAST  
VILLAGE OF WILLIAMS BAY, WALWORTH COUNTY, WISCONSIN

**LEGEND**

- = IRON PIPE FOUND 1 3/8" O.D.
- = IRON REBAR SET  
3/4" x 18" x 1.13 lbs/ft
- ⊕ = GUY WIRE & UTILITY POLE
- = ELECTRIC METER
- \* = AC UNITS
- {XXX} = RECORDED AS
- = OVERHEAD UTILITY WIRES
- + XXXX = EXISTING GROUND ELEVATION
- XXXX = EXISTING LAND CONTOURS
- ⊞ = ELECTRICAL BOX

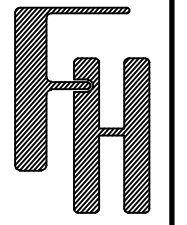


NOTE: COPIES OF THIS MAP TO WHICH THE FOLLOWING CERTIFICATE WILL APPLY SHOW THE SURVEYOR'S ORIGINAL SEAL AND SIGNATURE IN RED INK. COPIES BY ANY OTHER MEANS MAY HAVE ALTERATIONS WHICH DO NOT REPRESENT THE SURVEYOR'S WORK PRODUCT.

I HEREBY CERTIFY THAT THE ABOVE DESCRIBED PROPERTY HAS BEEN SURVEYED UNDER MY DIRECTION AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY AND ITS EXTERIOR BOUNDARIES. THIS SURVEY IS MADE FOR THE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE YEAR FROM THE DATE HEREOF. FIELDWORK COMPLETED 08/14/2025.

DATED: 08/29/2025

*Christopher A. Hodges*  
CHRISTOPHER A. HODGES P.L.S. 2760



**TOPOGRAPHY MAP**  
PARCEL #WL00026 & 27  
WILLIAMS BAY, WI

WORK ORDERED BY –  
RENEE LANAM TRUST & STEPHANIE RAPP TRUST  
22 UPPER LOCH VISTA DR.  
WILLIAMS BAY, WI

**FARRIS, HANSEN & ASSOCIATES, INC.**  
ENGINEERING – ARCHITECTURE – SURVEYING  
7 RIDGWAY COURT P.O. BOX 437  
ELKHORN, WISCONSIN 53121  
PHONE: (262) 723-2098 e-mail: office@farris-hansen.com

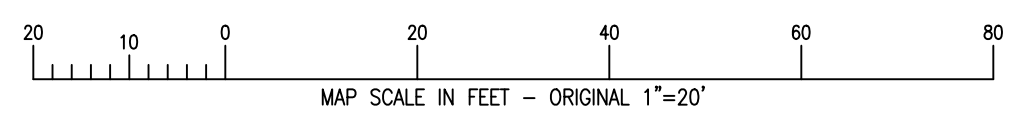
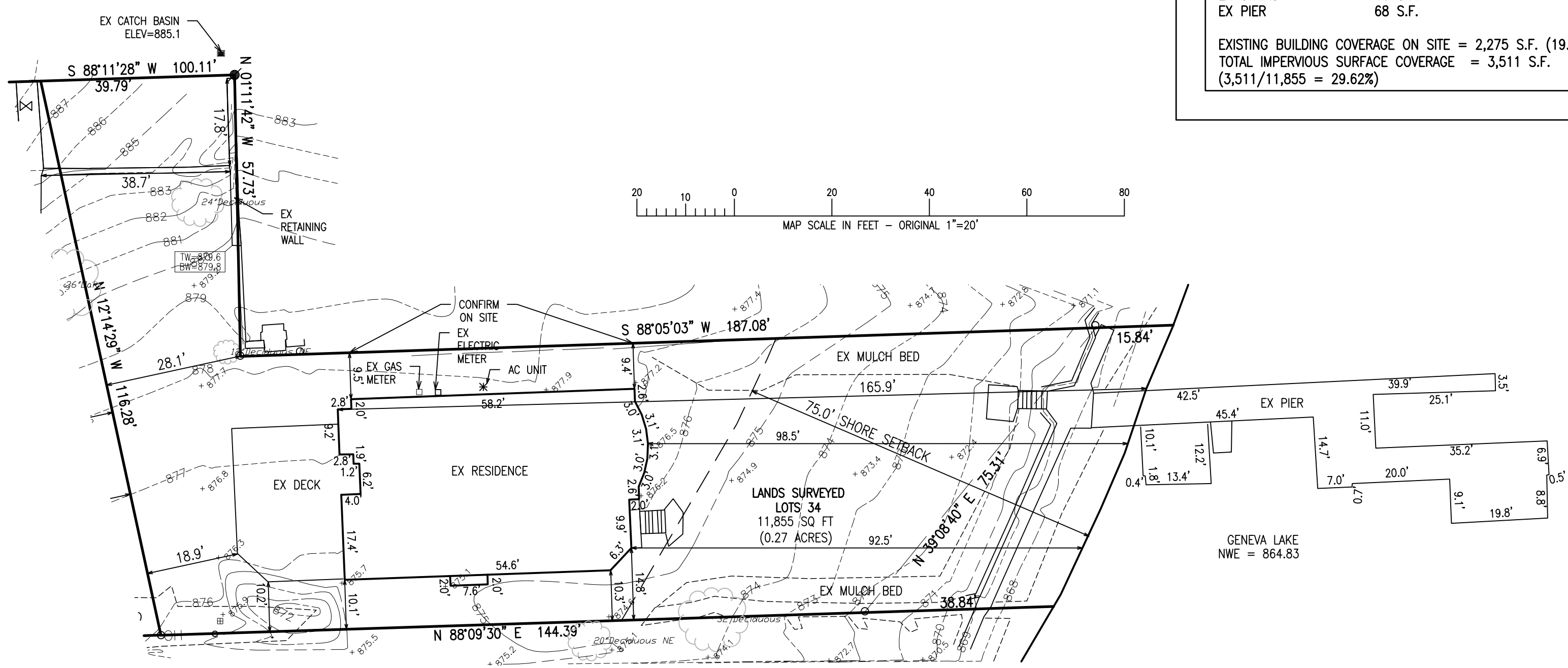
REVISIONS
11/03/2025 – KK Client revisions for more dimensions
03/04/2026 – KK Impervious surface calculations
03/09/2026 Rev Build Coverage Percentage

PROJECT NO. 11260
DATE: 08/29/2025
SHEET NO. 1 OF 1

**EXISTING IMPERVIOUS CALCULATIONS**  
EXISTING PARCEL = 11,855 S.F. (0.273 ACRES)

EX BUILDING	2,275 S.F.
EX DECK	674 S.F.
EX RETAINING WALLS	152 S.F.
EX FLAGSTONE	297 S.F.
EX STAIRS	46 S.F.
EX PIER	68 S.F.

EXISTING BUILDING COVERAGE ON SITE = 2,275 S.F. (19.2%)  
TOTAL IMPERVIOUS SURFACE COVERAGE = 3,511 S.F.  
(3,511/11,855 = 29.62%)



X:\Acad\_Site\Carlson\TITLE\_BLOCKS\FHA\_18x24.dwg

**HOMES WITHIN 200' of 22 UPPER LOCH VISTA DRIVE**

<b>PARCEL ID</b>	<b>OWNER &amp; MAILING ADDRESS PER TAX RECORDS</b>	<b>WILLIAMS BAY ADDRESS</b>
WLV 00032A	TRAJKOVICH PANDE TRUST 6 UPPER LOCH VISTA DR WILLIAMS BAY, WI 53191-0000	6 Upper Loch Vista Drive
WLV 00028	CRAIG G CURRY TRUST LINDA M CURRY TRUST 19 UPPER LOCH VISTA DR WILLIAMS BAY, WI 53191	19 Upper Loch Vista Drive
WLV3 00001	PETER M RUSSELL PAMELA J RUSSELL 24 LOWER LOCH VISTA DR WILLIAMS BAY, WI 53191	24 Lower Loch Vista Drive
WLV2 00001	KAREN M HEIDKAMP TRUST 2 S CLAY ST HINSDALE, IL 60521-0000	28 Lower Loch Vista Drive
WA3 13400002	JAMES A KIRCHSCHLAGER TRUST 164 Conference POINT ROAD WILLIAMS BAY, WI	164 Conference Point Road
WLV2 00003	DEBRA A ERICKSON TRUST 1449 ABOURNDAL CT WHEELING IL 60090	35 Lower Loch Vista Dr
WLV2 00002	ANGELA C KIMES TRUST 34 LOWER LOCH VISTA DR WILLIAMS BAY, WI 53191	34 Lower Loch Vista Drive
WWUP 00073	CONGRESS CLUB PO BOX 402 WILLIAMS BAY, WI 53191	200 Conference Point Road
WLV 00024	MARIE ALETA RETTKER TRUST 8016 W 125TH ST PALOS PARK, IL 60464	182 Conference Point Road
WLV 00025	SERO SED SERIO LLC 550 S SWAIN AVE ELMHURST, IL 60126	35 Upper Loch Vista Drive
WLV 00026	RENEE LANAM TRUST STEPHANIE RAPP TRUST 650 HILL ROAD WINNETKA, IL 60093	27 Upper Loch Vista Drive
WLV 00032	JOSEPH A GIRALAMO JR TRUST GLORIA A GIRALAMO TRUST, et al. 915 ST STEPHENS GREEN OAK BROOK, IL 60523-0000	10 Upper Loch Vista Drive
WLV 00033	LOCH VISTA CLUB PARK PO BOX 995 WILLIAMS BAY, WI 53191-0000	
WLV 00031	JOHANNES TROMP JEANNE TROMP 315 WASHINGTON AVE WILMETTE, IL 60091	24 Upper Loch Vista Drive
WLV 00030	MICHAEL OCONNOR TRUST HOLLY OCONNOR TRUST 628 N. BRAINARD ST NAPERVILLE, IL 60563	30 Upper Loch Vista Drive
WLV 00029	JOHN PORRITT TRUST KRISTIN PORRITT TRUST 42 UPPER LOCH VISTA DR WILLIAMS BAY, WI 53191	42 Upper Loch Vista Drive
WLV2 00004	MYMILLER TRUST 186 CONFERENCE POINT ROAD WILLIAMS BAY, WI 53191	186 Conference Point Road

## GENERAL NOTES

ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE TO ALL APPLICABLE LOCAL AND NATIONAL CODES.

WISCONSIN UNIFORM DWELLING CODE  
WISCONSIN ELECTRICAL CODE  
WISCONSIN PLUMBING CODE  
WISCONSIN MECHANICAL CODE  
ALL LOCAL & STATE AMENDMENTS AND ORDINANCES

EACH CONTRACTOR SHALL REVIEW AND VERIFY THE PLANS AND FIELD CONDITIONS PRIOR TO THE START OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT AND THE GENERAL CONTRACTOR. ALL DISCREPANCIES SHALL BE RESOLVED BEFORE THE START OF CONSTRUCTION.

ALL CONTRACTORS SHALL COORDINATE WITH ALL OTHER CONTRACTORS PRIOR TO AND DURING CONSTRUCTION.  
DO NOT SCALE DRAWINGS.

ALL MATERIALS, EQUIPMENT, STRUCTURAL ELEMENTS, FINISHES, WINDOWS, DOORS, ETC., WHETHER PREMANUFACTURED OR SITE BUILT SHALL BE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.

THE CONTRACTOR SHALL NOT ALLOW DEBRIS TO ACCUMULATE ON SITE DURING CONSTRUCTION. LEAVE AREA "BROOM CLEAN" DAILY AND REMOVE WASTE BUILDING MATERIAL WEEKLY.

THE ARCHITECT IS NOT ENGAGED FOR SUPERVISION AND ASSUMES NO SUCH RESPONSIBILITY.

THE CONTRACTOR TO BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, TECHNIQUES, PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK.

THE OWNER / CONTRACTOR RESPONSIBLE FOR OBTAINING APPROPRIATE PERMITS, INSURANCE FOR CONSTRUCTION AND OCCUPANCY.

THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL TEMPORARY PROTECTION OF ADJACENT WORK, EQUIPMENT AND OCCUPIED AREA AS REQUIRED AND SAME SHALL BE SUBJECT TO THE OWNER'S APPROVAL.

WHERE THE TERM "APPROVED EQUAL" IS USED IN THE DRAWINGS OR SPECIFICATIONS, IT SHALL BE UNDERSTOOD THAT THE REFERENCE IS MADE TO THE RULING AND JUDGMENT OF THE ARCHITECT AND SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL. SUBMIT ACTUAL SAMPLES AND ANY NECESSARY TECHNICAL DATA OR INFORMATION OF ALL PROPOSED SUBSTITUTIONS.

THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND HIS AGENTS FOR AND AGAINST ALL SUITS, CLAIMS OR LIABILITY ON ACCOUNT OF PERSONAL INJURIES OR PROPERTY DAMAGES ARISING OUT OF NEGLIGENT ACTS OF THE CONTRACTOR IN THE PERFORMANCE OF THE WORK COVERED BY THE CONTRACT.

### SITE WORK

THE FOOTINGS AND FOUNDATIONS HAVE BEEN DESIGNED TO BEAR ON UNDISTURBED SOIL OR APPROVED COMPACTED FILL WITH A MINIMUM BEARING CAPACITY OF 3000 P.S.F.

ALL FOOTINGS SHALL BE PLACED A MINIMUM OF 4'-0" BELOW THE FINISHED FINAL GRADE.

VERIFY FOOTING STEPS WITH FINAL FINISH GRADE.

PORCH AND STOOP FOOTINGS SHALL BE PLACED ON UNDISTURBED SOIL.

THE PORCH FOOTING ADJACENT TO THE BASEMENT FOUNDATION ON OVER EXCAVATED AREA SHALL BE INSTALLED ON EITHER COMPACTED ENGINEERED FILL OR STEPPED FOOTING SHALL BE PROVIDED.

### CONCRETE WORK

ALL CONCRETE WORK SHALL CONFORM TO ACI 318 OF THE AMERICAN CONCRETE INSTITUTE FOR UNREINFORCED CONCRETE.

ALL CONCRETE WORK SHALL DEVELOP A COMPRESSIVE STRENGTH OF 3000 P.S.I. IN 28 DAYS.

ALL CONCRETE WORK SHALL COMPLY TO THE ACI STANDARDS FOR HOT AND COLD WEATHER CONCRETING.

### METALS

ALL DETAILING, FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM WITH THE APPROPRIATE ASTM SPECIFICATIONS AND STANDARDS AS FOLLOWS: ASTM A36, ASTM A53, ASTM A501, ASTM A307, AND ASTM A492 Fy=50 KSI) FOR BEAMS.

ALL STEEL BEAMS AND COLUMNS SHALL BE SHOP PRIMED.

BEAMS, GIRDERS & CONCENTRATED LOADS SUPPORTED BY A WALL OR COLUMN SHALL HAVE A BEARING AREA OF AT LEAST 3" IN LENGTH.

### CARPENTRY NOTES

ALL INTERIOR PARTITIONS ARE BASED ON 3 1/2" UNLESS OTHERWISE NOTED.

ALL UNSUPPORTED FRAME WALLS 12'-0" OR TALLER SHALL BE FRAMED WITH 2x6 STUDS AT 16" ON CENTER UNLESS NOTED OTHERWISE.

ALL CANTILEVERS TO BE A MINIMUM 2:1 RATIO PER THE CURRENT CODE.

PROVIDE CROSS BRIDGING FOR ALL FLOOR JOISTS SPANNING 15'-0" OR GREATER, MINIMUM 8'-0" ON CENTER.

ALL LOAD BEARING HEADERS SHALL BE (2) 2x12 WITH 1/2" PLYWOOD SPACER UNLESS OTHERWISE NOTED. INSTALL DOUBLE CRIPPLES EACH SIDE FOR ALL SPANS OVER 6'-0".

PROVIDE APPROVED FIRE STOPPING AT ALL FURRING, PARTITIONS, EXTERIOR WALLS AT EACH FLOOR AND CEILING LEVEL, AND AT THE JUNCTURE OF THE ROOF RAFTERS AND WALL.

PROVIDE CONCEALED GALVANIZED OR ALUMINUM SHEET METAL FLASHING AT ALL WALL/ROOF JUNCTIONS AND AS REQUIRED FOR WATERPROOF CONSTRUCTION.

ALL FLOOR JOISTS FRAMED TO FLUSH HEADERS SHALL BE CONNECTED WITH METAL JOIST HANGERS.

RAISED FLOOR SURFACES LOCATED MORE THAN 3 RISERS OR 18" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 36" IN HEIGHT.

PROVIDE SOLID WOOD BLOCKING IN WALLS FOR ANCHORAGE AT ALL SHELVING, CABINETS AND TOILET ACCESSORIES. FIELD VERIFY MILL OWNER.

PROVIDE FIRE BLOCKING AT ALL TRANSITIONS OF WALL AND CEILINGS.

ALL EXTERIOR DECK/SCREEN ROOM FRAMING SHALL BE PRESSURE PRESERVATIVE TREATED (WOLMANIZED)

ALL EXTERIOR DECK/SCREEN ROOM CONNECTORS, HANGERS, BRACKETS, NAILS, SCREWS, ETC. SHALL BE COMPATIBLE WITH THE PRESSURE TREATED LUMBER WHEN USED WITH TREATED LUMBER.

JOISTS SHALL HAVE A BEARING AREA OF NOT LESS THAN 1-1/2".

### DOORS AND WINDOWS

ALL SAFETY GLAZING SHALL BE IN ACCORDANCE WITH THE CODE.

A MINIMUM OF ONE WINDOW PER SLEEPING AREA SHALL COMPLY WITH THE FOLLOWING MINIMUM EGRESS REQUIREMENTS:

MINIMUM OPENING AREA	5.7 SQ. FT. (5.0 SQ. FT. FOR WINDOWS AT GRADE LEVEL)
MINIMUM OPENING WIDTH	20" CLEAR
MINIMUM OPENING HEIGHT	24" CLEAR

### MASONRY

(NOT APPLICABLE)

### MECHANICAL

THE MECHANICAL CONTRACTOR IS TO VERIFY ALL EQUIPMENT LOCATIONS AND DUCTWORK LAYOUT WITH THE GENERAL CONTRACTOR PRIOR TO START OF INSTALLATION.

THE HEATING SYSTEM IS TO BE DESIGNED TO MAINTAIN AN INSIDE TEMPERATURE OF 70° F. INSIDE AND WITH AN OUTSIDE TEMPERATURE OF -10° F.

VENT ALL BATHROOM EXHAUST FANS, KITCHEN RANGE HOOD EXHAUST FAN, AND DRYER VENTS TO THE EXTERIOR WITH A DAMPER. OUTLETS PLACED IN ROOF SOFFITS SHALL BE PLACED A MINIMUM 6'-0" FROM ATTIC SOFFIT VENTS.

ALL CRAWL SPACES SHALL BE PROVIDED WITH HEATED SUPPLY AND RETURN AIR.

EXTERIOR VENT TERMINATIONS OF HIGH EFFICIENCY FURNACES AND FAN ASSISTED WATER HEATERS SHALL BE THROUGH THE ROOF OR TOWARD THE REAR OF THE HOUSE.

## GENERAL NOTES

### MECHANICAL CONTINUED

PROVIDE VENTILATION THAT COMPLIES WITH THE REQUIREMENTS OF THE WISCONSIN UNIFORM DWELLING CODE AS APPLICABLE.

ALL OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING.

PROVIDE ADEQUATE COMBUSTION AIR TO THE MECHANICAL ROOM FOR ALL GAS FIRED APPLIANCES INSTALLED IN THE SPACE.

COMBUSTION AIR INTAKES SHALL BE INSTALLED FOR THE FURNACE AND WATER HEATER IN ACCORDANCE WITH THE REQUIREMENTS OF THE WISCONSIN UNIFORM DWELLING CODE AS APPLICABLE AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND SPECIFICATIONS.

CLASS 'B' VENTS TO HAVE A MINIMUM 1" CLEARANCE TO ALL COMBUSTIBLES AND TO BE FIRESTOPPED AT FLOORS.

PROVIDE AND INSTALL MINIMUM 90% HIGH EFFICIENCY FURNACES WITH DIRECT COMBUSTION AND EXHAUST VENTS.

PROVIDE MINIMUM ONE PROGRAMMABLE THERMOSTAT THAT IS CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY.

ALL DUCT WORK INSTALLED IN UNCONDITIONED SPACE SHALL BE SEALED WITH APPROVED TAPES OR SEALANTS. ALL DUCT WORK INSTALLED IN ATTICS SHALL BE INSULATED TO A MINIMUM OF R-6. ALL OTHER DUCT WORK SHALL BE INSULATED TO A MINIMUM OF R-6.

ALL DUCT WORK, AIR HANDLERS, FILTER BOXES AND BUILDING CAVITIES USED AS DUCTS SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH THE WISCONSIN UNIFORM DWELLING CODE AS APPLICABLE.

THE DUCT WORK TIGHTNESS SHALL BE VERIFIED BY AN APPROVED CODE METHOD. VERIFY WITH BUILDING INSPECTOR.

### ELECTRICAL

REFER TO ELECTRICAL SHEETS.

### PLUMBING

ALL UNDERGROUND WATER PIPING SHALL BE TYPE 'K' COPPER.

ALL INTERIOR ABOVE GROUND WATER PIPING SHALL OF A WISCONSIN CODE APPROVED MATERIAL.

PROVIDE 12" AIR CHAMBERS AT ALL FIXTURES.

PROVIDE 24" AIR CHAMBERS AT ALL RISERS.

ALL INTERIOR WASTE SHALL BE PVC. PITCH MINIMUM 1/4" PER FOOT.

ALL SHOWER VALVES SHALL BE NON SCALD TYPE.

ALL HOSE BIBS SHALL BE FROST PROOF WITH VACUUM BREAKERS.

PROVIDE A SEWER CLEAN OUT WITHIN 5'-0" OF THE EXTERIOR OF THE FOUNDATION WALL.

ALL UNDERGROUND WASTE AND VENT PIPING SHALL BE CAST IRON OR SCHEDULE 40 PVC.

### THERMAL AND MOISTURE PROTECTION

REFER TO TYPICAL WALL SECTIONS FOR R-VALUES.

METAL VALLEY FLASHINGS TO CONFORM WITH APPLICABLE CODES.

ALL EXTERIOR JOINTS, SEAMS, AND PENETRATIONS IN THE BUILDING ENVELOPE SHALL BE SEALED WITH APPROVED SEALANT, TAPE, GASKETS OR WEATHER STRIPPING TO PREVENT AIR LEAKAGE.

VAPOR RETARDERS WITH A PER RATINGS OF 1.0 OR LESS SHALL BE INSTALLED IN ALL FRAMED CEILINGS, WALLS, AND FLOORS.

ACCESS PANELS TO ATTICS SHALL BE WEATHER-STRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES.

INFILTRATION FOR HEATING DESIGN LOADS SHALL BE CALCULATED BASED ON A MAXIMUM OF 0.5 AIR CHANGES PER HOUR IN THE HEATED SPACE.

THE DUCT TIGHTNESS SHALL BE TESTED USING AN APPROVED METHOD FOR AIR LEAKAGE FOR DUCTS AND AIR HANDLERS LOCATED OUTSIDE THE CONDITIONED SPACE.

## STRUCTURAL DESIGN CRITERIA

DESIGN LOADS		
FLOOR	40 P.S.F.-LL.	10 P.S.F.-DL. LIVING SPACE
ATTIC	20 P.S.F.-LL.	10 P.S.F.-DL. WITH ATTIC STORAGE
ATTIC	10 P.S.F.-LL.	10 P.S.F.-DL. WITHOUT ATTIC STORAGE
ROOF	30 P.S.F.-LL.	10 P.S.F.-DL. SNOW LOAD
CATHEDRAL CEILING	30 P.S.F.-LL.	15 P.S.F.-DL. SNOW LOAD
DECKS	40 P.S.F.-LL.	10 P.S.F.-DL.

WINDSPEED  
ALL FLOOR AND CEILING JOISTS, ROOF RAFTERS, BEAMS AND HEADERS SHALL BE DOMESTIC HEM FIR #2 UNLESS OTHERWISE NOTED. MINIMUM E = 1,300,000 P.S.I. AND MINIMUM BASE Fb = 850 OR BETTER.

ALL STRUCTURAL WOOD POSTS SHALL BE 5-P-F STRUCTURAL GRADE OR BETTER UNLESS NOTED OTHERWISE.

PROVIDE DOUBLE JOISTS BELOW ALL PARALLEL PARTITIONS, BATHTUBS, WASHER, DRYER, AND OTHER STATIONARY APPLIANCES.

MINIMUM IN GRADE BASE VALUES FOR STUDS:

FIRST FLOOR EXTERIOR LOAD BEARING WALLS	E = 1,400,000	Fc = 825
FIRST FLOOR INTERIOR LOAD BEARING WALLS	E = 1,200,000	Fc = 800
SECOND FLOOR EXTERIOR LOAD BEARING WALLS	E = 1,200,000	Fc = 800
SECOND FLOOR INTERIOR LOAD BEARING WALLS	E = 1,000,000	Fc = 800
ALL NON LOAD BEARING WALLS	E = 1,000,000	Fc = 600

EXTERIOR DECK STRUCTURAL FRAMING LUMBER:

ALL DECK STRUCTURAL FRAMING HAS BEEN DESIGNED BASED UPON #2 SOUTHERN YELLOW PINE OF U.S. ORIGIN AS CLASSIFIED BY THE SOUTHERN PINE MARKETING COUNCIL UNLESS NOTED OTHERWISE.

Fb: 2x8 = 1,380 P.S.I. / 2x10 = 1,210 P.S.I. / 2x12 = 1,120 P.S.I. / E = 1,600,000

ENGINEERED WOOD PRODUCTS:

MANUFACTURED STRUCTURAL WOOD PRODUCTS SUCH AS HEADERS AND BEAMS HAVE BEEN DESIGNED BASED UPON MICROLAMMS AND PARALLAMMS AS MANUFACTURED BY TRUSS-JOIST.

2.0 MICROLAMMS	Fb = 2600 P.S.I.	E = 2,000,000 P.S.I.
2.0 PARALLAMMS	Fb = 2400 P.S.I.	E = 2,000,000 P.S.I.
1.55 TIMBERSTRAND	Fb = 2350 P.S.I.	E = 1,550,000 P.S.I.

ALL MULTI-PLY ENGINEERED WOOD PRODUCTS (LVL, MICROLAM, PSL, ETC.), SHALL BE CONNECTED / BOLTED TO EACH PLY PER MANUFACTURER'S INSTALLATION INSTRUCTIONS AND PER MANUFACTURER'S SPECIFICATIONS.

STRUCTURAL WOOD I-JOISTS:

MANUFACTURED STRUCTURAL WOOD I-JOISTS ARE BASED UPON I-JOIST AS MANUFACTURED BY INTERNATIONAL BEAM OR APPROVED EQUAL. ALL SUBSTITUTIONS SHALL BE REVIEWED AND APPROVED BY THE ARCHITECT PRIOR TO JOIST INSTALLATION. I JOISTS SHALL BE INSTALLED AS PER THE MANUFACTURER'S ALLOWABLE FLOOR SPAN CHART (LIVE LOAD = 1480), INSTALLATION INSTRUCTIONS AND SPECIFICATIONS.

## FIRESTOPPING NOTES

FIRESTOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE.

FIRESTOPPING SHALL BE PROVIDED IN WOOD FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:

- 1) IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AT THE CEILING AND FLOOR LEVEL.
- 2) AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS THOSE THAT OCCUR AT SOFFITS, DROP CEILINGS, COVE CEILINGS, ETC.
- 3) IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RIM.
- 4) AT OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, AND FIREPLACES AT CEILING AND FLOOR LEVEL, WITH NON-COMBUSTIBLE MATERIALS.

EXCEPT AS PROVIDED IN ITEM 4 ABOVE, FIRESTOPPING SHALL CONSIST OF 2 INCH NOMINAL LUMBER, OR TWO THICKNESSES OF 1 INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS, OR ONE THICKNESS OF 23/32 INCH PLYWOOD WITH JOINTS BACKED BY 23/32 INCH PLYWOOD, OR ONE THICKNESS OF 3/4 INCH TYPE 2-M PARTICLE BOARD WITH JOINTS BACKED BY 3/4 INCH TYPE 2-M PARTICLE BOARD, OR OTHER APPROVED MATERIALS.  
THE INTEGRITY OF ALL FIRESTOPS SHALL BE MAINTAINED.

NOTE:  
ALL FIREBLOCKINGS AND DRAFTSTOPPING SHALL MEET REQUIREMENTS OF IRC R602.8 AND RELATED SECTIONS AND TABLES AND IRC R502.2 AND RELATED SECTIONS.

PROVIDE 5/8" FIRECODE DRYWALL TO UNDERSIDE OF ALL I JOIST FLOOR CONSTRUCTION AND PROVIDE APPROVED DRAFTSTOPPING FOR EVERY 1000 SQ. FT. OF FLOOR AREA

## ABBREVIATIONS

F.P.H.B. - FROST PROOF HOSE BIB	HP - WATER PROOF FIXTURE
F.F.C.L. - FLOOR FINISH CHANGE LINE	SD - SMOKE DETECTOR
G.G.B. - GUY GREY BOX	R - RECESSED CAN
HV - WITH	T - TIMER CONTROL
O.C. - ON CENTER	D - DIMMER CONTROL
GFI - GROUND FAULT INTERRUPT	S - SPEED CONTROL
DED. - DEDICATED	3 - 3-WAY SWITCH
	4 - 4-WAY SWITCH

## ENERGY CODE

THE NEW CONSTRUCTION HAS BEEN DESIGNED TO COMPLY WITH THE PRESCRIPTIVE REQUIREMENTS OF THE WISCONSIN UNIFORM DWELLING CODE AS FOLLOWS:

WALLS:	R-19 BATT INSULATION.
ATTIC:	R-44 BATT INSULATION WITH VAPOR BARRIER
FLOORS:	R-30 BATT INSULATION WITH VAPOR BARRIER
SLOPED CEILING:	R-44 CLOSED CELL SPRAY FOAM OR RIGID INSULATION
BASEMENT WALLS:	R-10 RIGID FOAM INSULATION
WINDOWS:	U-0.35 (MAXIMUM)
SKYLIGHTS:	U-0.60 (MAXIMUM)
DOORS:	U-0.35 (MAXIMUM)

ALL FOUNDATION WALLS SHALL BE INSULATED FROM THE TOP OF THE WALL TO THE TOP OF THE BASEMENT FLOOR BELOW.

THE DWELLING UNIT SHALL BE TESTED AND VERIFIED FOR AIR LEAKAGE USING AN APPROVED CODE METHOD. VERIFY WITH THE BUILDING INSPECTOR

THE MAINTENANCE INSTRUCTIONS AND EQUIPMENT MANUALS SHALL BE FURNISHED WITH ALL MECHANICAL EQUIPMENT OUTLINING REQUIRED REGULAR PREVENTATIVE MAINTENANCE.

INSULATE ALL HOT WATER PIPING IN ACCORDANCE WITH THE CODE

## REMODELING NOTES

VERIFY ALL EXISTING CONDITIONS AND COMPARE TO THE PLANS PRIOR TO THE START OF CONSTRUCTION. NOTIFY THE GENERAL CONTRACTOR AND ARCHITECT IMMEDIATELY UPON THE DISCOVERY OF ANY DISCREPANCIES.

DISCONNECT AND CAP OFF ALL PLUMBING AND GAS PIPING, ELECTRICAL WIRING AND DEVICES, LOW VOLTAGE WIRING, MECHANICAL DUCT WORK AS REQUIRED FOR NEW CONSTRUCTION.

ALL DEMOLITION OF EXISTING PLUMBING PIPING, FIXTURES AND EQUIPMENT ETC SHALL BE PERFORMED BY AN ILLINOIS LICENSED PLUMBER.

CONNECT NEW ELECTRICAL CIRCUITS TO EXISTING PANEL. VERIFY PANEL SIZE AND AVAILABLE CIRCUITS. SUPPLY AND INSTALL AN ADDITIONAL SUB PANEL IF REQUIRED.

ALL EXPOSED CEILING, WALL AND FLOOR CAVITIES SHALL BE FILLED WITH INSULATION. VERIFY R-VALUE WITH BUILDING INSPECTOR.

REPAIR AND PATCH AS REQUIRED TO MATCH EXISTING

VERIFY CONDITION, DEPTH AND SIZE OF EXISTING CONCRETE FOOTING AND FOUNDATION, MIN. 3'-0" BELOW FINISH GRADE REQUIRED. REVIEW WITH ARCHITECT PRIOR TO START OF CONSTRUCTION.

VERIFY CONDITION AND STRUCTURAL INTEGRITY OF EXISTING MASONRY WALL. CONSTRUCTION PATCH AND REPAIR, AND/OR REPLACE AS REQUIRED FOR NEW CONSTRUCTION. REVIEW WITH ARCHITECT PRIOR TO START OF CONSTRUCTION.

## LEGEND

EXISTING WALL TO REMAIN		NEW CONCRETE FOUNDATION WALL	
NEW FRAME WALL		EXISTING WALL AND ASSOCIATED ELEMENTS TO BE REMOVED	
WOOD STUDS AT 16" O.C. 1/2" DRYWALL EACH SIDE		PATCH AND REPAIR AS REQUIRED TO MATCH EXISTING	
EXISTING CONCRETE FOUNDATION WALL TO REMAIN		SHORE UP EXISTING CONSTRUCTION AS REQUIRED	

# ADDITION/ REMODEL PROJECT: RAPP RESIDENCE 22 UPPER LOCH VISTA DRIVE WILLIAMS BAY, WI 53191

## SHEET INDEX

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| 2)  | A 02 | REFERENCE SITE PLAN                         |
| 3)  | A 03 | DEMOLITION EXISTING ELEVATIONS              |
| 4)  | A 04 | DEMOLITION EXISTING ELEVATIONS              |
| 5)  | A 05 | DEMOLITION EXISTING BASEMENT PLAN           |
| 6)  | A 06 | DEMOLITION EXISTING FIRST FLOOR PLAN        |
| 7)  | A 07 | DEMOLITION EXISTING SECOND FLOOR PLAN       |
| 8)  | A 08 | DEMOLITION EXISTING ROOF PLAN               |
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| 17) | A 17 | TYPICAL WALL SECTION WITH NOTES             |
| 18) | A 18 | ELECTRICAL PLANS AND NOTES                  |

## SCOPE OF WORK

- 1) REMOVE ENTIRE EXISTING SECOND FLOOR AND EXISTING ROOF STRUCTURE.
- 2) NEW UNCONDITIONED ATTIC STORAGE AREA WITH NEW CONDITIONED UTILITY ROOM.
- 3) ALL NEW CONNECTIONS FOR ALL MECHANICAL, ELECTRICAL AND PLUMBING SUPPLIES FROM EXISTING MEP EQUIPMENT TO ALL NEW SECOND FLOOR CONSTRUCTION. REPLACE SUPPLY CONNECTIONS AS REQUIRED FOR ALL NEW SYSTEMS AT SECOND FLOOR LEVEL.
- 4) REFER TO PROPOSED ELEVATIONS, PLANS AND DETAILS FOR ALL NEW SPECIFICATIONS, FIXTURES AND FINISHES. VERIFY ALL FIXTURES AND FINISHES WITH OWNER PRIOR TO ALL CONSTRUCTION.
- 5) FIRST FLOOR CEILING ELECTRICAL FIXTURES SHALL BE COORDINATED WITH NEW SECOND FLOOR CONSTRUCTION. PATCH AND REPAIR EXISTING FIRST FLOOR CEILING AS REQUIRED DURING CONSTRUCTION OR REPLACE ENTIRETY AS REQUIRED.
- 6) EXISTING INTERIOR STAIR CASE REMORKED FOR NEW ATTIC STORAGE ACCESS.

## AREA CALCULATIONS

- |                   |            |             |
|-------------------|------------|-------------|
| 1) EXISTING TOTAL | = 2,323.1  | SQUARE FEET |
| 2) PROPOSED TOTAL | = 4,082.33 | SQUARE FEET |

## HEIGHT CALCULATIONS

- |                                   |          |
|-----------------------------------|----------|
| 1) EXISTING TOTAL BUILDING HEIGHT | = 30'-7" |
| 2) PROPOSED TOTAL BUILDING HEIGHT | = 35'-6" |

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24"x36" SIZE PAPER. (ARCH-D)

RAPP RESIDENCE  
ADDITION / REMODEL  
22 UPPER LOCH VISTA DRIVE  
WILLIAMS BAY, WI 53191

11/12/2025
02/27/2026
03/04/2026

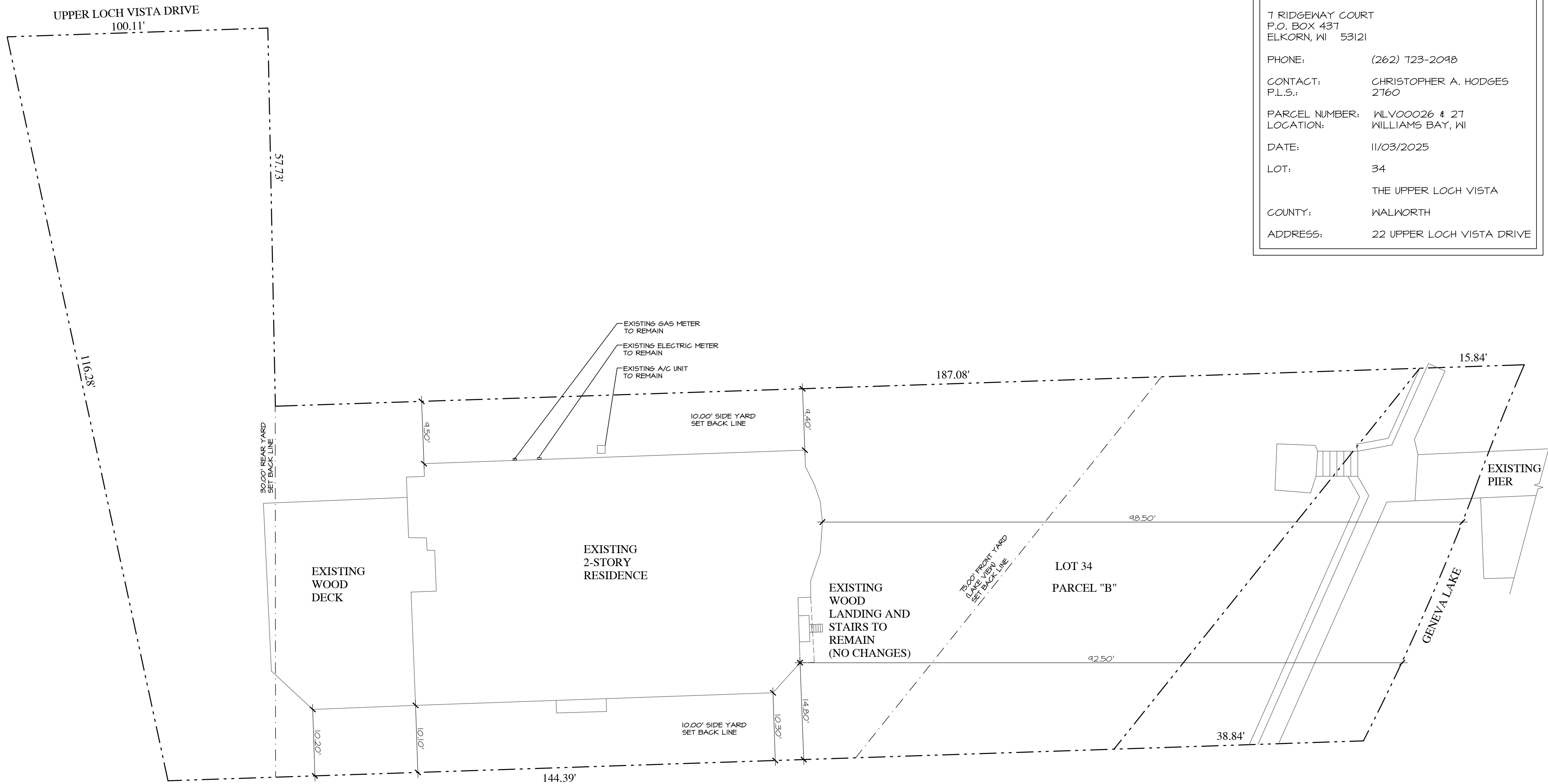
REVIEW	11/12/2025
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REVIEW	03/04/2026

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ARCHITECTS

PROJECT # AD25221  
DRAWN BY: DB/NH  
22 UPPER LOCH VISTA DR.  
TITLE SHEET & GEN. NOTES

A 01  
OF 18 TOTAL SHEETS

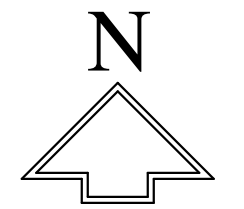


**NOTES:**  
 PLAT OF SURVEY - TOPOGRAPHY MAP BY OTHERS:  
 FARRIS, HANSEN & ASSOCIATES, INC. CIVIL ENGINEER / SURVEYOR  
 7 RIDGEWAY COURT  
 P.O. BOX 437  
 ELKORN, WI 53121  
 PHONE: (262) 723-2098  
 CONTACT: CHRISTOPHER A. HODGES  
 P.L.S.: 2760  
 PARCEL NUMBER: WL00026 & 27  
 LOCATION: WILLIAMS BAY, WI  
 DATE: 11/03/2025  
 LOT: 34  
 THE UPPER LOCH VISTA  
 COUNTY: WALNORTH  
 ADDRESS: 22 UPPER LOCH VISTA DRIVE

**1**  
**A 02**  
**SITE PLAN**  
 REFERENCE PLAN ONLY

**NOTE:**  
 ALL SURVEY AND CIVIL ENGINEERING BY OTHERS.  
 TOPOGRAPHY/ GRADE ELEVATIONS BY OTHERS.  
 PLAT OF SURVEY BY OTHERS.

SCALE: 1" = 20'-0"



NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24"x36" SIZE PAPER. (ARCH-D)

**REVIEW ONLY - NOT FOR CONSTRUCTION**

**RAPP RESIDENCE**

ADDITION/REMODEL  
 22 UPPER LOCH VISTA DRIVE  
 WILLIAMS BAY, WI 53191

REVIEW	11/12/2025
REVIEW	02/27/2026
REVIEW	03/04/2026

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PROJECT # AD25221  
 DRAWN BY: DB/NH  
 22 UPPER LOCH VISTA DR.  
 REFERENCE SITE PLAN  
**A 02**  
 # 2 OF 18 TOTAL SHEETS



**2** EXISTING LEFT ELEVATION  
A 03 DEMOLITION

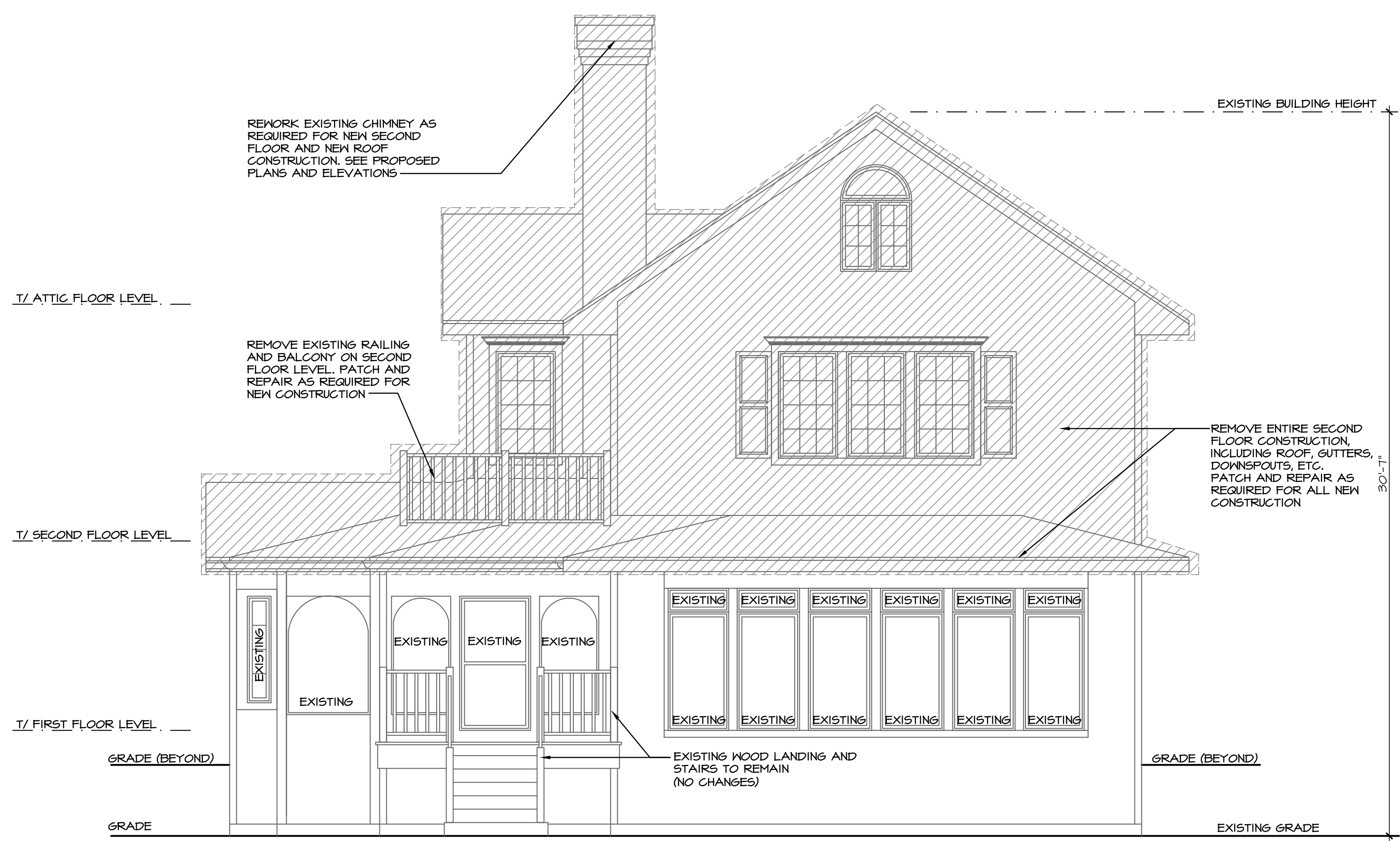
SCALE: 1/4" = 1'-0"

**LEGEND**

EXISTING WALL TO REMAIN		NEW CONCRETE FOUNDATION WALL	
NEW FRAME WALL, WOOD STUDS @ 16" O.C., 1/2" DRYWALL EACH SIDE		EXISTING WALL AND ASSOCIATED ELEMENTS TO BE REMOVED TO MATCH EXISTING	
EXISTING CONCRETE FOUNDATION WALL TO REMAIN		SHORE UP EXISTING CONSTRUCTION AS REQUIRED	

**REMODELING NOTES**

- VERIFY ALL EXISTING CONDITIONS AND COMPARE TO THE PLANS PRIOR TO THE START OF CONSTRUCTION. NOTIFY THE GENERAL CONTRACTOR AND ARCHITECT IMMEDIATELY UPON THE DISCOVERY OF ANY DISCREPANCIES.
- DISCONNECT AND CAP OFF ALL PLUMBING AND GAS PIPING, ELECTRICAL WIRING AND DEVICES, LOW VOLTAGE WIRING, MECHANICAL DUCT WORK AS REQUIRED FOR NEW CONSTRUCTION.
- ALL DEMOLITION OF EXISTING PLUMBING PIPING, FIXTURES AND EQUIPMENT ETC. SHALL BE PERFORMED BY A MICHIGAN LICENSED PLUMBER.
- SHORE UP ALL EXISTING STRUCTURE AS REQUIRED FOR ALL NEW CONSTRUCTION.
- CONNECT NEW PLUMBING SUPPLY WASTE AND VENT PIPES TO EXISTING. VERIFY TYPE, VERIFY EXISTING PIPE SIZE AND SYSTEM CAPACITY TO ACCOMMODATE NEW CONSTRUCTION. RE-WORK AS REQUIRED.
- CONNECT NEW ELECTRICAL CIRCUITS TO EXISTING PANEL. VERIFY PANEL SIZE AND AVAILABLE CIRCUITS. SUPPLY AND INSTALL AN ADDITIONAL SUB PANEL IF REQUIRED.
- CONNECT NEW HVAC DUCTS TO EXISTING. VERIFY SIZE AND CAPACITY OF EXISTING HVAC EQUIPMENT AND REWORK AS REQUIRED TO MEET THE REQUIREMENTS OF THE NEW ADDITION.
- ALL EXPOSED CEILING, WALL AND FLOOR CAVITIES SHALL BE FILLED WITH INSULATION. VERIFY R-VALUE WITH BUILDING INSPECTOR.
- REPAIR AND PATCH EXISTING CONSTRUCTION AS REQUIRED TO MATCH EXISTING.



**1** EXISTING FRONT ELEVATION  
A 03 DEMOLITION

(LAKE VIEW)

SCALE: 1/4" = 1'-0"

**REVIEW ONLY - NOT FOR CONSTRUCTION**

RAPP RESIDENCE

ADDITION/REMODEL  
22 UPPER LOCH VISTA DRIVE  
WILLIAMS BAY, WI 53191

REVIEW	11/12/2025
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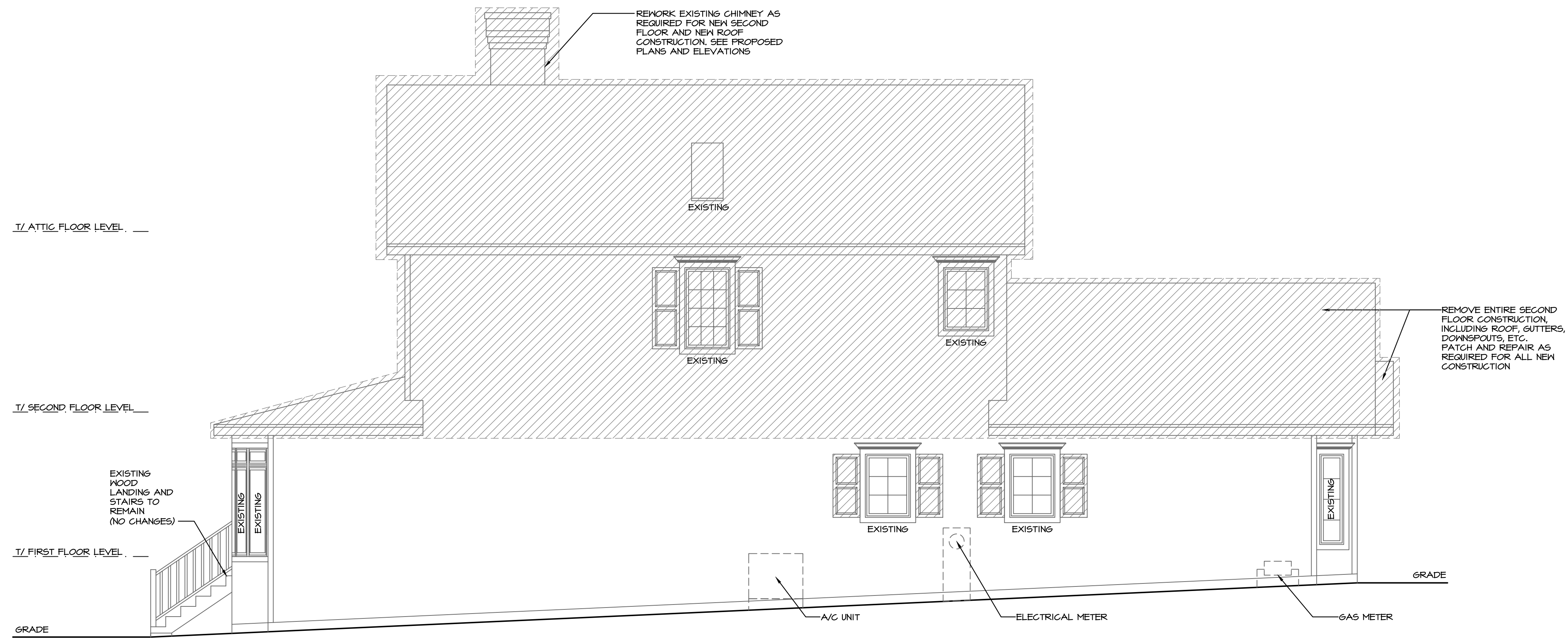
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ARCHITECTS

PROJECT # AD25221  
DRAWN BY: DB/NH  
22 UPPER LOCH VISTA DR.  
DEMOLITION ELEVATIONS

**A 03**  
# 3 OF 18 TOTAL SHEETS

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24"x36" SIZE PAPER. (ARCH-D)



**2** EXISTING RIGHT ELEVATION  
 A 04 DEMOLITION

SCALE: 1/4" = 1'-0"

**LEGEND**

- EXISTING WALL TO REMAIN
- NEW FRAME WALL  
WOOD STUDS @ 16" O.C.  
1/2" DRYWALL EACH SIDE
- EXISTING CONCRETE  
FOUNDATION WALL TO REMAIN
- NEW CONCRETE  
FOUNDATION WALL
- EXISTING WALL AND ASSOCIATED  
ELEMENTS TO BE REMOVED  
PATCH AND REPAIR AS REQUIRED  
TO MATCH EXISTING
- SHORE UP EXISTING  
CONSTRUCTION AS REQUIRED

**REMODELING NOTES**

- VERIFY ALL EXISTING CONDITIONS AND COMPARE TO THE PLANS PRIOR TO THE START OF CONSTRUCTION. NOTIFY THE GENERAL CONTRACTOR AND ARCHITECT IMMEDIATELY UPON THE DISCOVERY OF ANY DISCREPANCIES.
- DISCONNECT AND CAP OFF ALL PLUMBING AND GAS PIPING, ELECTRICAL WIRING AND DEVICES, LOW VOLTAGE WIRING, MECHANICAL DUCT WORK AS REQUIRED FOR NEW CONSTRUCTION.
- ALL DEMOLITION OF EXISTING PLUMBING PIPING, FIXTURES AND EQUIPMENT ETC. SHALL BE PERFORMED BY A WISCONSIN LICENSED PLUMBER.
- SHORE UP ALL EXISTING STRUCTURE AS REQUIRED FOR ALL NEW CONSTRUCTION
- CONNECT NEW PLUMBING SUPPLY WASTE AND VENT PIPES TO EXISTING. VERIFY TYPE. VERIFY EXISTING PIPE SIZE AND SYSTEM CAPACITY TO ACCOMMODATE NEW CONSTRUCTION. RE-WORK AS REQUIRED.
- CONNECT NEW ELECTRICAL CIRCUITS TO EXISTING PANEL. VERIFY PANEL SIZE AND AVAILABLE CIRCUITS. SUPPLY AND INSTALL AN ADDITIONAL SUB PANEL IF REQUIRED.
- CONNECT NEW HVAC DUCTS TO EXISTING. VERIFY SIZE AND CAPACITY OF EXISTING HVAC EQUIPMENT AND REWORK AS REQUIRED TO MEET THE REQUIREMENTS OF THE NEW ADDITION.
- ALL EXPOSED CEILING, WALL AND FLOOR CAVITIES SHALL BE FILLED WITH INSULATION. VERIFY R-VALUE WITH BUILDING INSPECTOR.
- REPAIR AND PATCH EXISTING CONSTRUCTION AS REQUIRED TO MATCH EXISTING



**1** EXISTING REAR ELEVATION  
 A 04 DEMOLITION

SCALE: 1/4" = 1'-0"

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24"x36" SIZE PAPER. (ARCH-D)

**REVIEW ONLY - NOT FOR CONSTRUCTION**

RAPP  
 RESIDENCE

ADDITION/REMODEL  
 22 UPPER LOCH VISTA DRIVE  
 WILLIAMS BAY, WI 53191

11/12/2025	REVIEW
02/27/2026	REVIEW
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**ASPECT DESIGN INC.**  
 ARCHITECTS

PROJECT # AD25221  
 DRAWN BY: DB/NH  
 22 UPPER LOCH VISTA DR.  
 DEMOLITION ELEVATIONS

**A 04**  
 # 4 OF 18 TOTAL SHEETS

**LEGEND**

EXISTING WALL TO REMAIN		NEW CONCRETE FOUNDATION WALL	
NEW FRAME WALL HOOD STUDS @ 16" O.C. 1/2" DRYWALL EACH SIDE		EXISTING WALL AND ASSOCIATED ELEMENTS TO BE REMOVED PATCH AND REPAIR AS REQUIRED TO MATCH EXISTING	
EXISTING CONCRETE FOUNDATION WALL TO REMAIN		SHORE UP EXISTING CONSTRUCTION AS REQUIRED	

**REMODELING NOTES**

VERIFY ALL EXISTING CONDITIONS AND COMPARE TO THE PLANS PRIOR TO THE START OF CONSTRUCTION. NOTIFY THE GENERAL CONTRACTOR AND ARCHITECT IMMEDIATELY UPON THE DISCOVERY OF ANY DISCREPANCIES.

DISCONNECT AND CAP OFF ALL PLUMBING AND GAS PIPING, ELECTRICAL WIRING AND DEVICES, LOW VOLTAGE WIRING, MECHANICAL DUCT WORK AS REQUIRED FOR NEW CONSTRUCTION.

ALL DEMOLITION OF EXISTING PLUMBING PIPING, FIXTURES AND EQUIPMENT ETC. SHALL BE PERFORMED BY A WISCONSIN LICENSED PLUMBER.

SHORE UP ALL EXISTING STRUCTURE AS REQUIRED FOR ALL NEW CONSTRUCTION

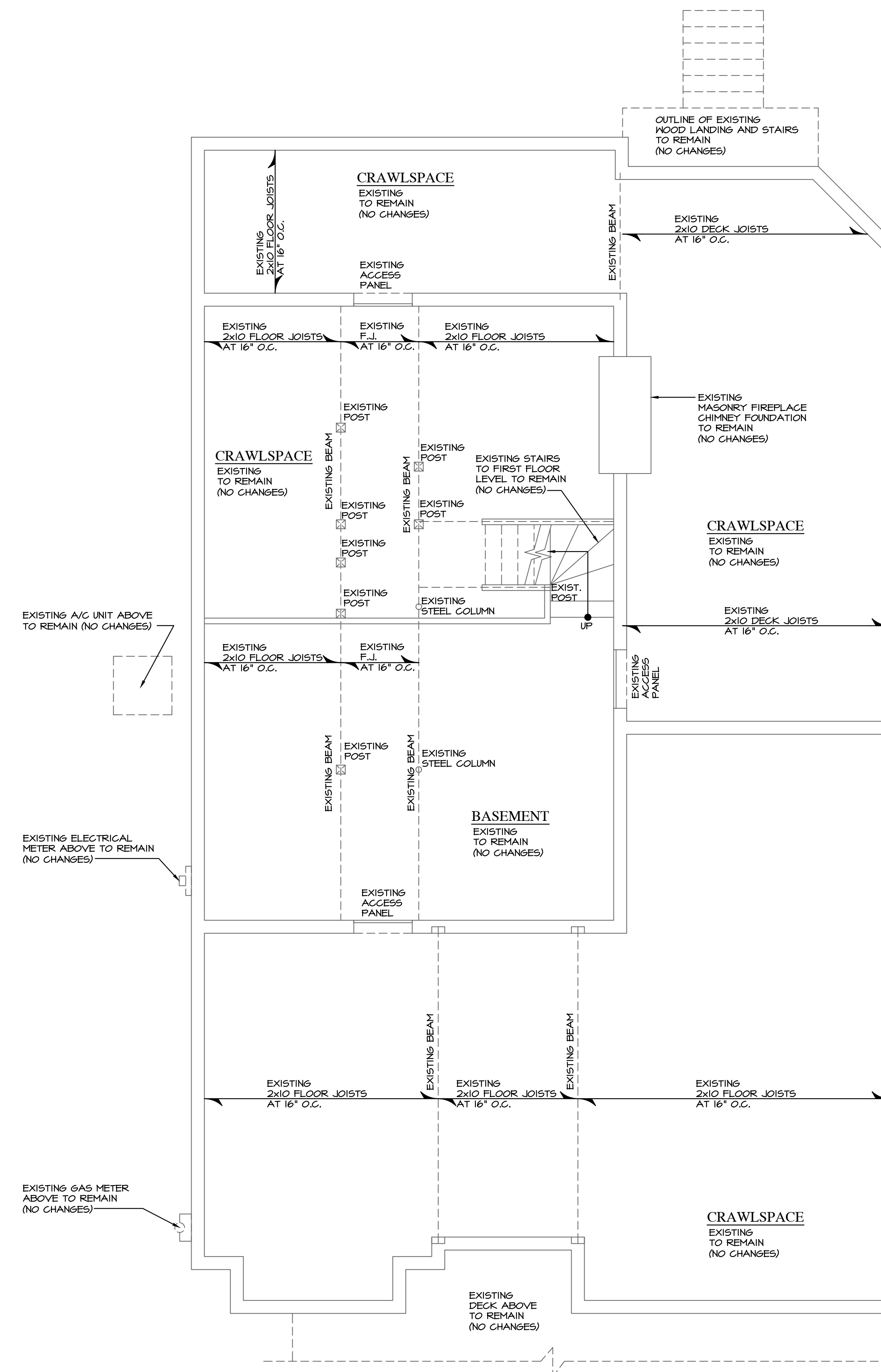
CONNECT NEW PLUMBING SUPPLY WASTE AND VENT PIPES TO EXISTING. VERIFY TYPE, VERIFY EXISTING PIPE SIZE AND SYSTEM CAPACITY TO ACCOMMODATE NEW CONSTRUCTION. RE-WORK AS REQUIRED.

CONNECT NEW ELECTRICAL CIRCUITS TO EXISTING PANEL. VERIFY PANEL SIZE AND AVAILABLE CIRCUITS. SUPPLY AND INSTALL AN ADDITIONAL SUB PANEL IF REQUIRED.

CONNECT NEW HVAC DUCTS TO EXISTING. VERIFY SIZE AND CAPACITY OF EXISTING HVAC EQUIPMENT AND REWORK AS REQUIRED TO MEET THE REQUIREMENTS OF THE NEW ADDITION.

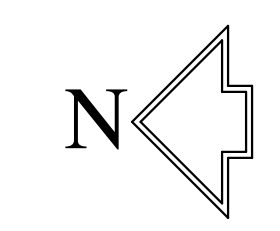
ALL EXPOSED CEILING, WALL AND FLOOR CAVITIES SHALL BE FILLED WITH INSULATION. VERIFY R-VALUE WITH BUILDING INSPECTOR.

REPAIR AND PATCH EXISTING CONSTRUCTION AS REQUIRED TO MATCH EXISTING



**1** EXISTING BASEMENT PLAN  
A 05 DEMOLITION

SCALE: 1/4" = 1'-0"



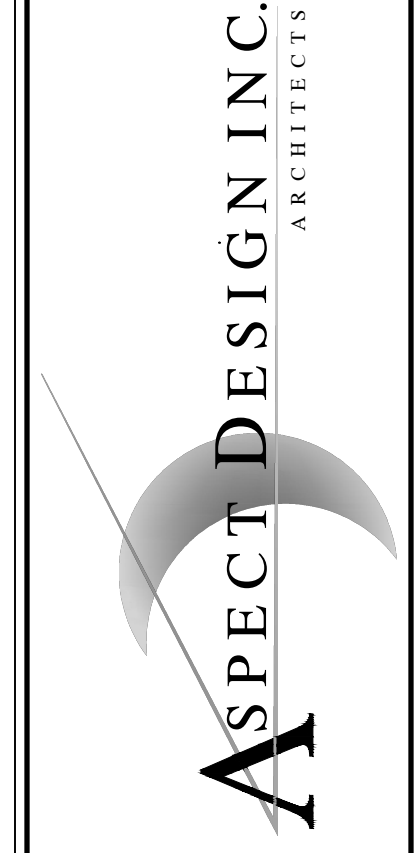
NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24"x36" SIZE PAPER. (ARCH-D)

**REVIEW ONLY - NOT FOR CONSTRUCTION**

**RAPP RESIDENCE**  
ADDITION/REMODEL  
22 UPPER LOCH VISTA DRIVE  
WILLIAMS BAY, WI 53191

REVIEW	11/12/2025
REVIEW	02/27/2026
REVIEW	03/04/2026

26575 COMMERCE DR.  
SUITE 607  
VOLO, IL 60073  
MAIN: 847-457-2500  
WWW.ASPECTDESIGNINC.COM  
LICENSE # 298411



PROJECT # AD25221  
DRAWN BY: DB/NH  
22 UPPER LOCH VISTA DR.  
EXISTING BASEMENT PLAN

**A 05**  
# 5 OF 18 TOTAL SHEETS

# REVIEW ONLY - NOT FOR CONSTRUCTION

RAPP  
RESIDENCE

ADDITION/REMODEL  
22 UPPER LOCH VISTA DRIVE  
WILLIAMS BAY, WI 53191

REVIEW	11/12/2025
REVIEW	02/27/2026
REVIEW	03/04/2026

REVIEW	11/12/2025
REVIEW	02/27/2026
REVIEW	03/04/2026

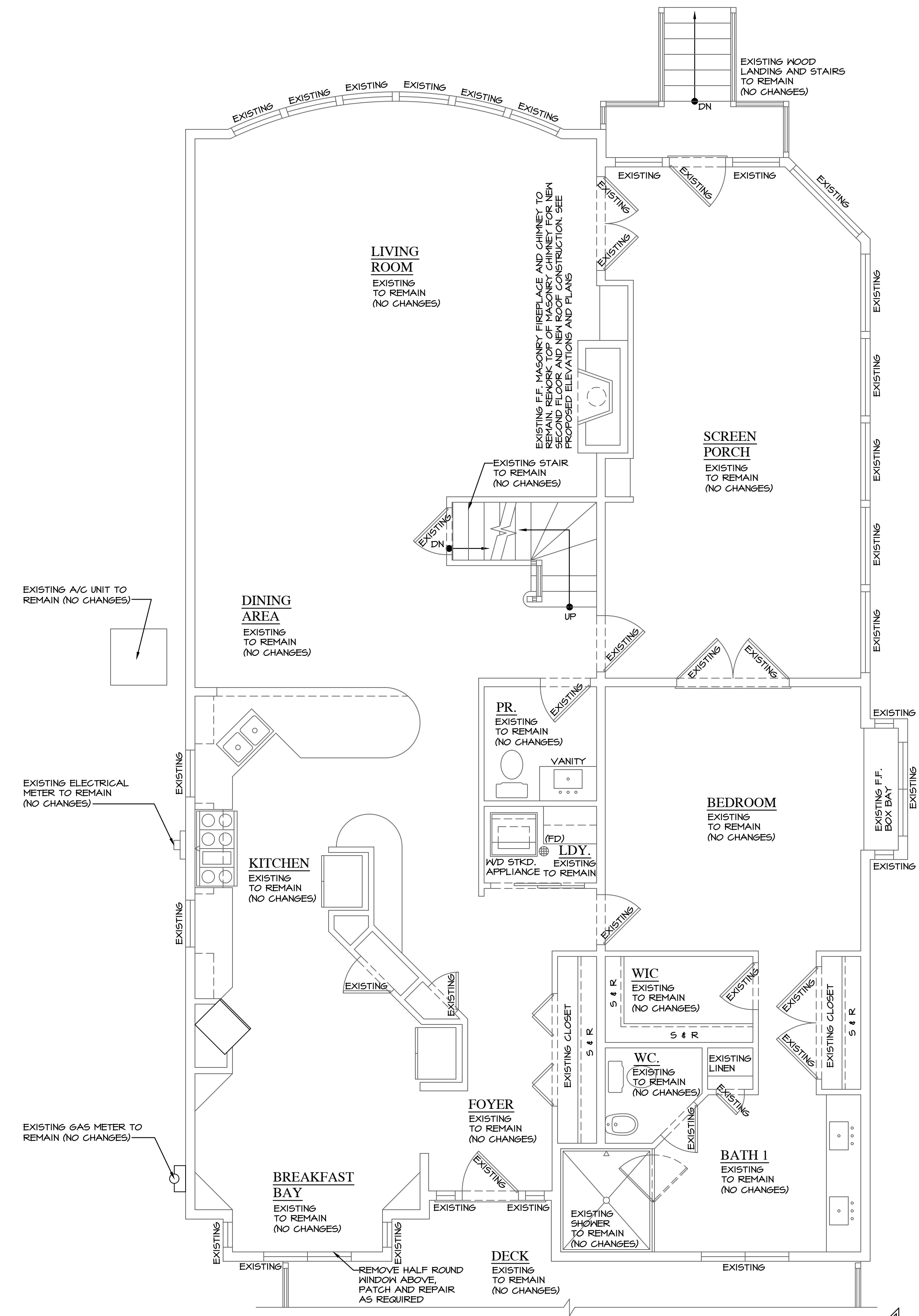
26575 COMMERCE DR.  
SUITE 607  
VOLO, IL 60073  
MAIN: 847-457-2500  
WWW.ASPECTDESIGNINC.COM  
WISCONSIN LICENSE # 2968411

**ASPECT DESIGN INC.**  
ARCHITECTS

PROJECT # AD25221  
DRAWN BY: DB/NH  
22 UPPER LOCH VISTA DR.  
DEMO. FIRST FLOOR PLAN

**A 06**

# 6 OF 18 TOTAL SHEETS



## LEGEND

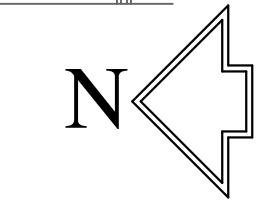
EXISTING WALL TO REMAIN	NEW CONCRETE FOUNDATION WALL
NEW FRAME WALL WOOD STUDS @ 16" O.C. 1/2" DRYWALL EACH SIDE	EXISTING WALL AND ASSOCIATED ELEMENTS TO BE REMOVED PATCH AND REPAIR AS REQUIRED TO MATCH EXISTING
EXISTING CONCRETE FOUNDATION WALL TO REMAIN	SHORE UP EXISTING CONSTRUCTION AS REQUIRED

## REMODELING NOTES

- VERIFY ALL EXISTING CONDITIONS AND COMPARE TO THE PLANS PRIOR TO THE START OF CONSTRUCTION. NOTIFY THE GENERAL CONTRACTOR AND ARCHITECT IMMEDIATELY UPON THE DISCOVERY OF ANY DISCREPANCIES.
- DISCONNECT AND CAP OFF ALL PLUMBING AND GAS PIPING, ELECTRICAL WIRING AND DEVICES, LOW VOLTAGE WIRING, MECHANICAL DUCT WORK AS REQUIRED FOR NEW CONSTRUCTION.
- ALL DEMOLITION OF EXISTING PLUMBING PIPING, FIXTURES AND EQUIPMENT ETC. SHALL BE PERFORMED BY A WISCONSIN LICENSED PLUMBER.
- SHORE UP ALL EXISTING STRUCTURE AS REQUIRED FOR ALL NEW CONSTRUCTION
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- CONNECT NEW ELECTRICAL CIRCUITS TO EXISTING PANEL. VERIFY PANEL SIZE AND AVAILABLE CIRCUITS. SUPPLY AND INSTALL AN ADDITIONAL SUB PANEL IF REQUIRED.
- CONNECT NEW HVAC DUCTS TO EXISTING. VERIFY SIZE AND CAPACITY OF EXISTING HVAC EQUIPMENT AND REWORK AS REQUIRED TO MEET THE REQUIREMENTS OF THE NEW ADDITION.
- ALL EXPOSED CEILING, WALL AND FLOOR CAVITIES SHALL BE FILLED WITH INSULATION. VERIFY R-VALUE WITH BUILDING INSPECTOR.
- REPAIR AND PATCH EXISTING CONSTRUCTION AS REQUIRED TO MATCH EXISTING

**1**  
**A 06** EXISTING FIRST FLOOR PLAN  
DEMOLITION

SCALE: 1/4" = 1'-0"



NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24"x36" SIZE PAPER. (ARCH-D)

# REVIEW ONLY - NOT FOR CONSTRUCTION

**RAPP RESIDENCE**  
 ADDITION/REMODEL  
 22 UPPER LOCH VISTA DRIVE  
 WILLIAMS BAY, WI 53191

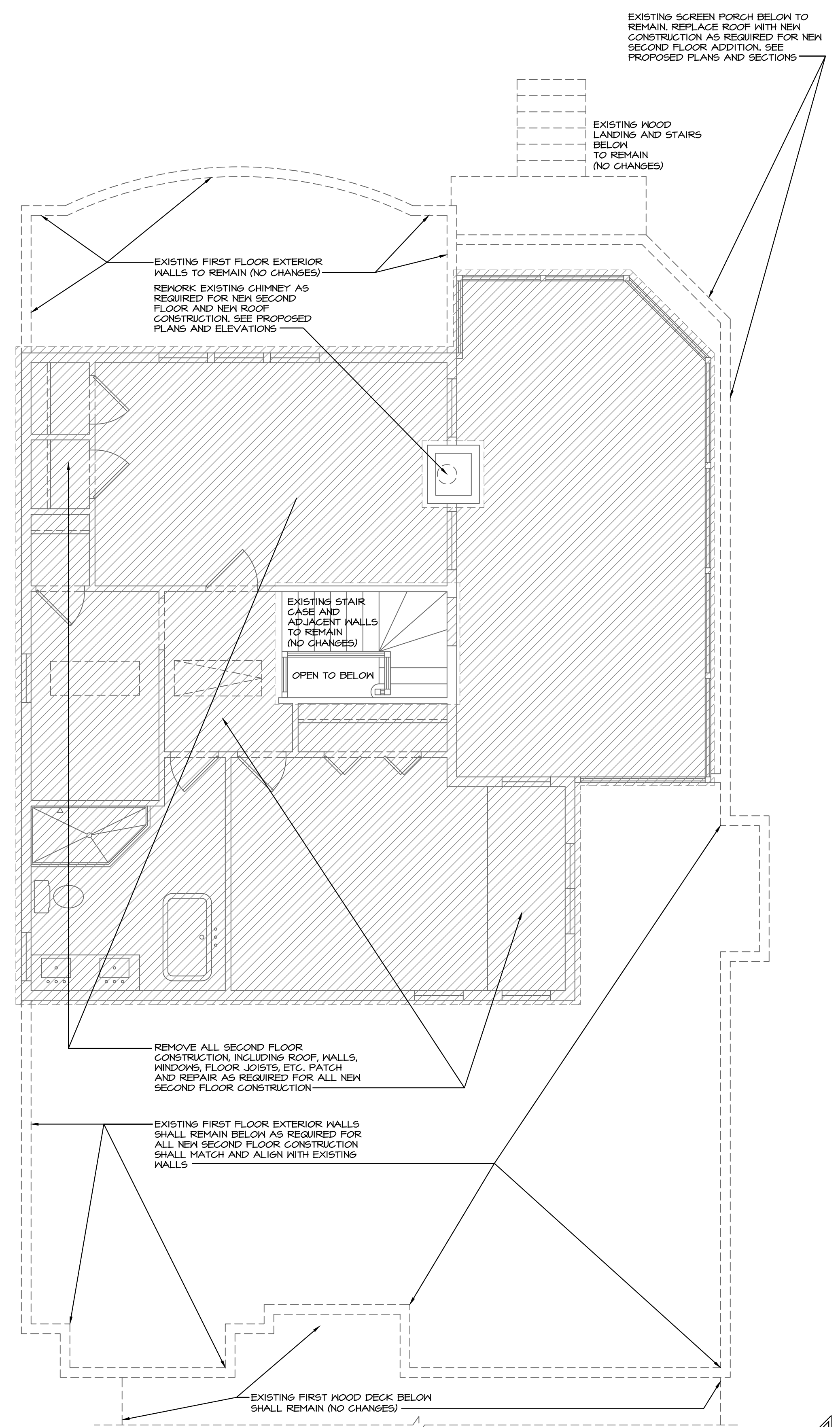
11/12/2025  
 02/27/2026  
 03/04/2026

REVIEW REVIEW REVIEW  
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 SUITE 607  
 Volo, IL 60073  
 MAIN: 847-457-2500  
 WWW.ASPECTDESIGNINC.COM  
 WILICENSE # 298411

**ASPECT DESIGN INC.**  
 ARCHITECTS

PROJECT # AD25221  
 DRAWN BY: DB/NH  
 22 UPPER LOCH VISTA DR.  
 DEMO. SECOND FLOOR PLN.  
**A 07**  
 # 7 OF 18 TOTAL SHEETS



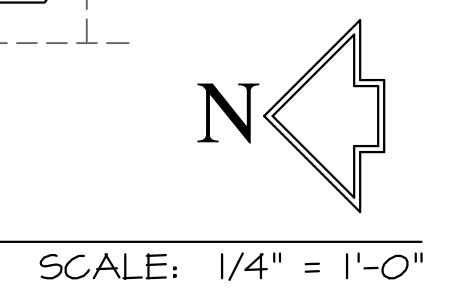
### LEGEND

- EXISTING WALL TO REMAIN
- NEW CONCRETE FOUNDATION WALL
- NEW FRAME WALL, WOOD STUDS @ 16" O.C., 1/2" DRYWALL EACH SIDE
- EXISTING WALL AND ASSOCIATED ELEMENTS TO BE REMOVED. PATCH AND REPAIR AS REQUIRED TO MATCH EXISTING
- EXISTING CONCRETE FOUNDATION WALL TO REMAIN
- SHORE UP EXISTING CONSTRUCTION AS REQUIRED

### REMODELING NOTES

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- REPAIR AND PATCH EXISTING CONSTRUCTION AS REQUIRED TO MATCH EXISTING

**1**  
**A 07**  
**EXISTING SECOND FLOOR PLAN**  
 DEMOLITION



SCALE: 1/4" = 1'-0"

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24"x36" SIZE PAPER. (ARCH-D)

# REVIEW ONLY - NOT FOR CONSTRUCTION

**RAPP RESIDENCE**  
 ADDITION/REMODEL  
 22 UPPER LOCH VISTA DRIVE  
 WILLIAMS BAY, WI 53191

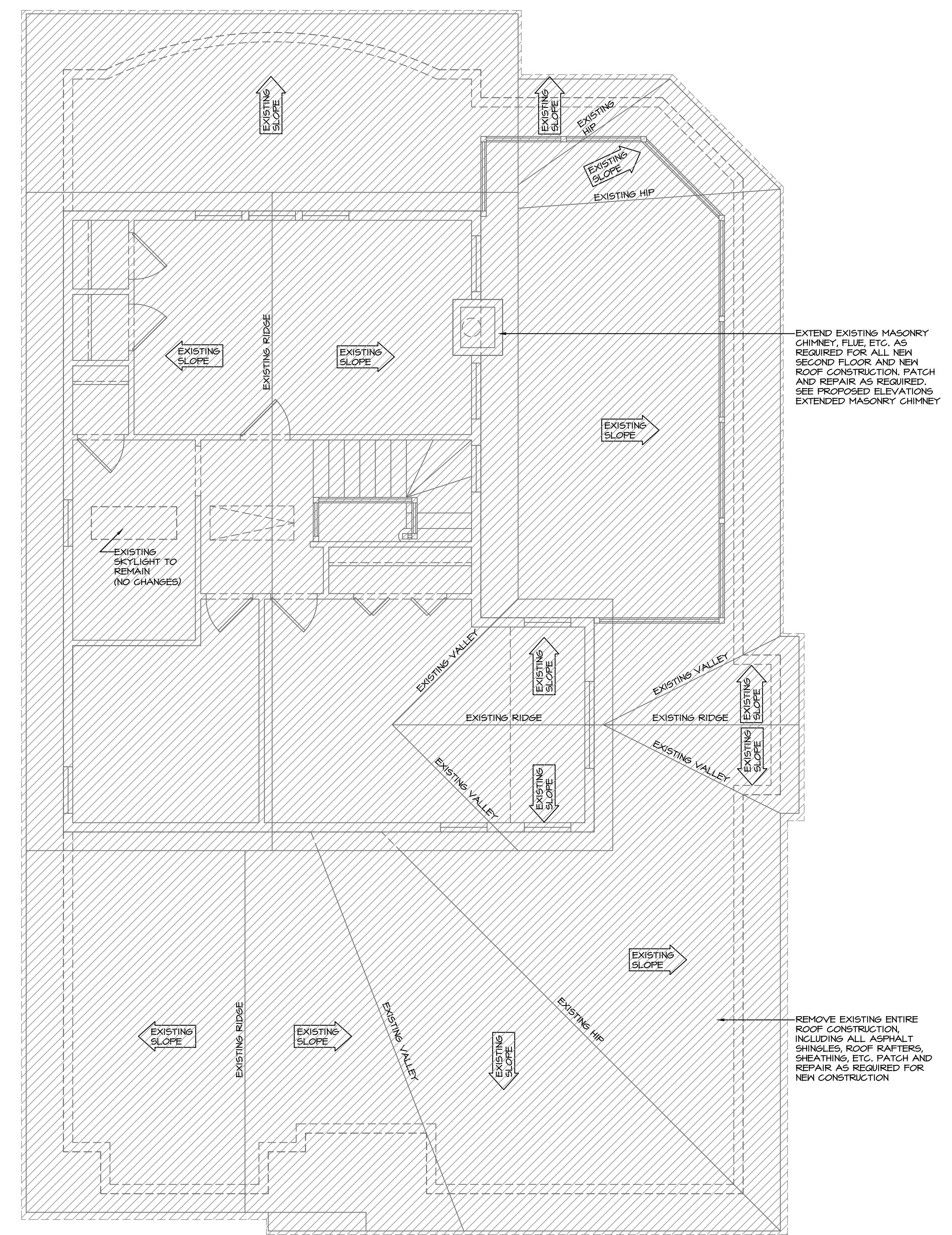
11/12/2025  
 02/27/2026  
 03/04/2026

REVIEW  
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 REVIEW

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 SUITE 607  
 Volo, IL 60073  
 MAIN: 847-457-2500  
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**ASPECT DESIGN INC.**  
 ARCHITECTS

PROJECT # AD25221  
 DRAWN BY: DB/NH  
 22 UPPER LOCH VISTA DR.  
 DEMO. ROOF PLAN  
**A 08**  
 # 8 OF 18 TOTAL SHEETS



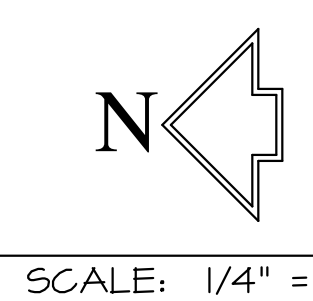
### LEGEND

EXISTING WALL TO REMAIN	NEW CONCRETE FOUNDATION WALL
NEW FRAME WALL WOOD STUDS @ 16" O.C. 1/2" DRYWALL EACH SIDE	EXISTING WALL AND ASSOCIATED ELEMENTS TO BE REMOVED PATCH AND REPAIR AS REQUIRED TO MATCH EXISTING
EXISTING CONCRETE FOUNDATION WALL TO REMAIN	SHORE UP EXISTING CONSTRUCTION AS REQUIRED

### REMODELING NOTES

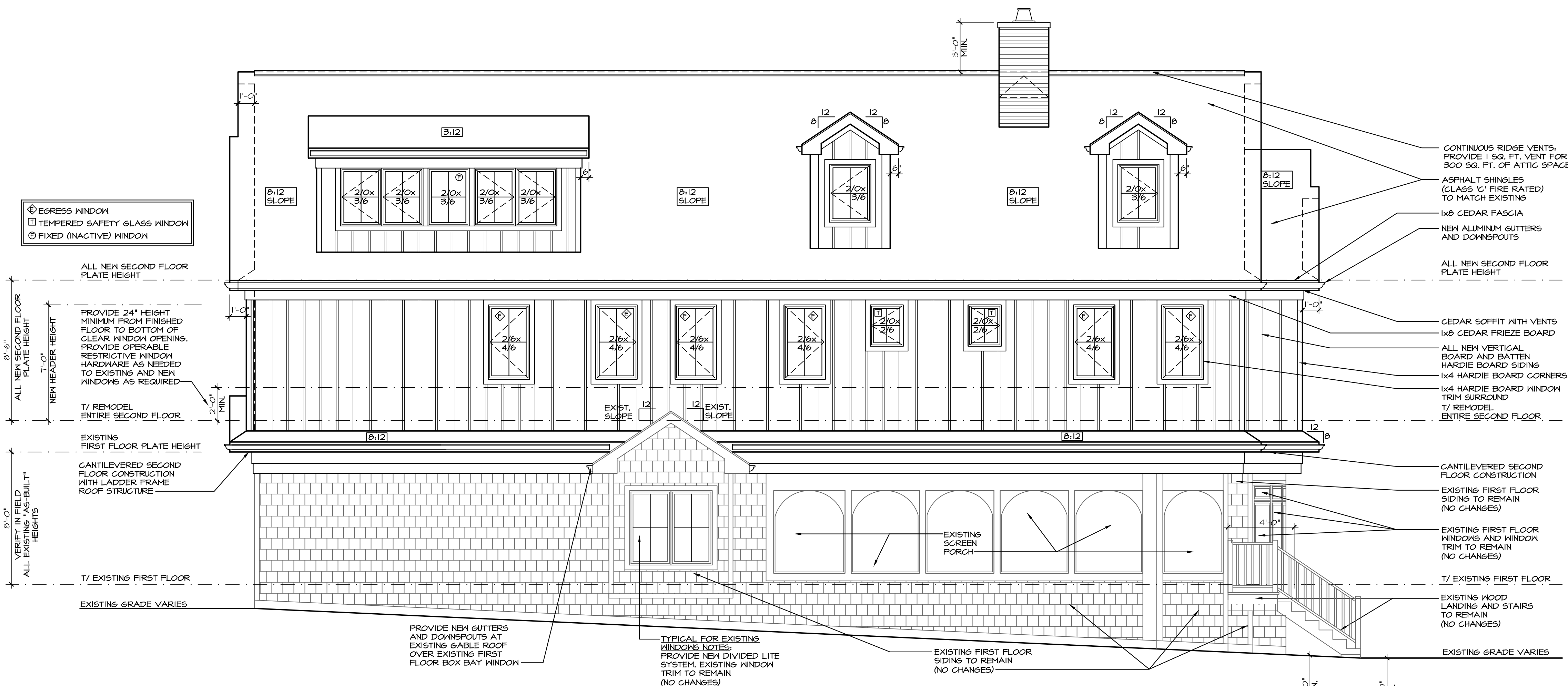
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**1**  
**A 08**  
**EXISTING ROOF PLAN**  
 DEMOLITION

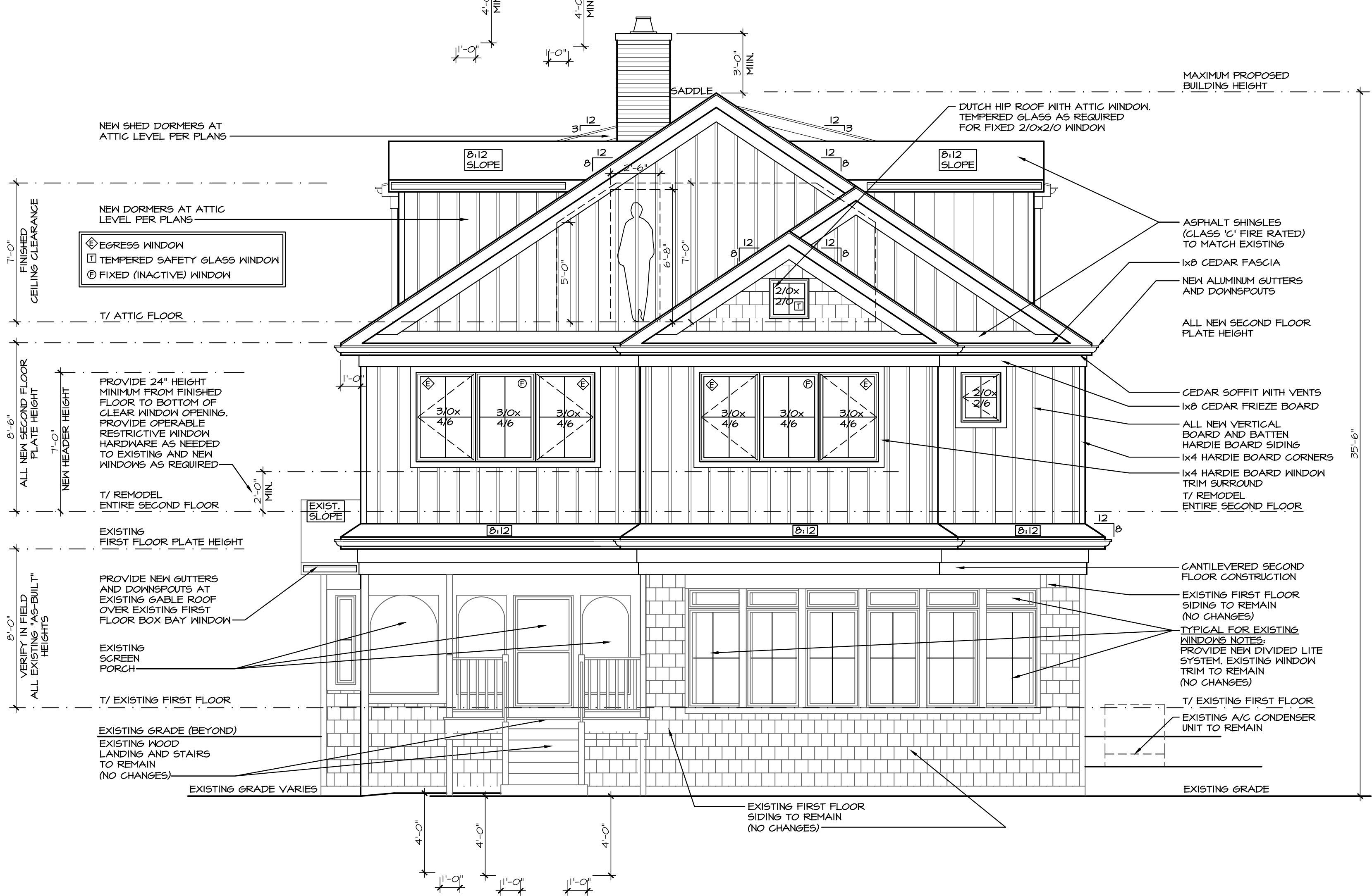


SCALE: 1/4" = 1'-0"

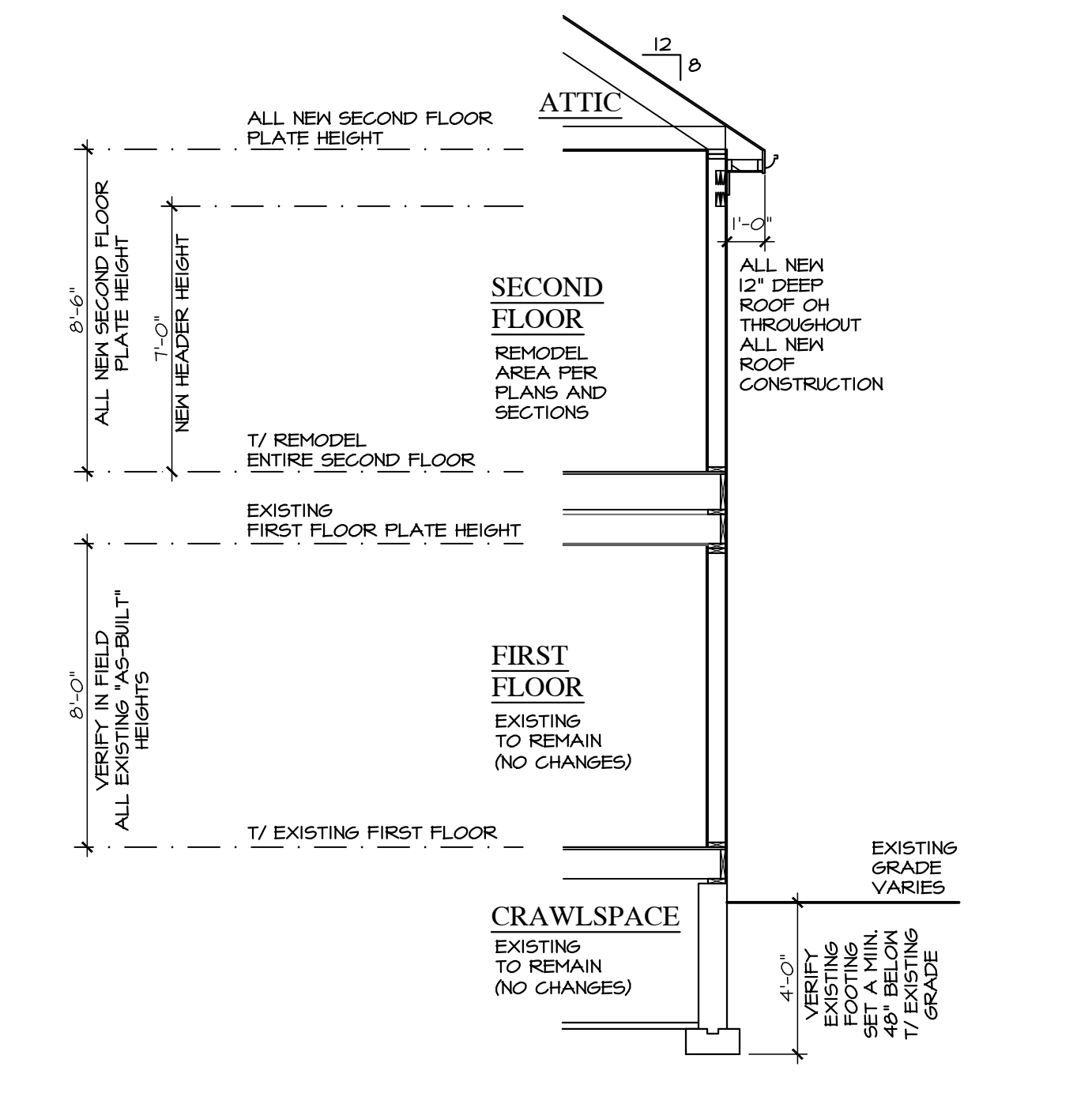
NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24"x36" SIZE PAPER. (ARCH-D)



**2 LEFT ELEVATION**  
 A 09 PROPOSED  
 SCALE: 1/4" = 1'-0"



**1 FRONT ELEVATION (LAKE VIEW)**  
 A 09 PROPOSED  
 SCALE: 1/4" = 1'-0"



**3 TYPICAL WALL SECTION**  
 A 09 PROPOSED  
 SCALE: 1/4" = 1'-0"

LEGEND	
EXISTING WALL TO REMAIN	NEW CONCRETE FOUNDATION WALL
NEW FRAME WALL WOOD STUDS @ 16" O.C. 1/2" DRYWALL EACH SIDE	EXISTING WALL AND ASSOCIATED ELEMENTS TO BE REMOVED PATCH AND REPAIR AS REQUIRED TO MATCH EXISTING SHORE UP EXISTING CONSTRUCTION AS REQUIRED
EXISTING CONCRETE FOUNDATION WALL TO REMAIN	

**REMODELING NOTES**

VERIFY ALL EXISTING CONDITIONS AND COMPARE TO THE PLANS PRIOR TO THE START OF CONSTRUCTION. NOTIFY THE GENERAL CONTRACTOR AND ARCHITECT IMMEDIATELY UPON THE DISCOVERY OF ANY DISCREPANCIES.

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REPAIR AND PATCH EXISTING CONSTRUCTION AS REQUIRED TO MATCH EXISTING

**REVIEW ONLY - NOT FOR CONSTRUCTION**

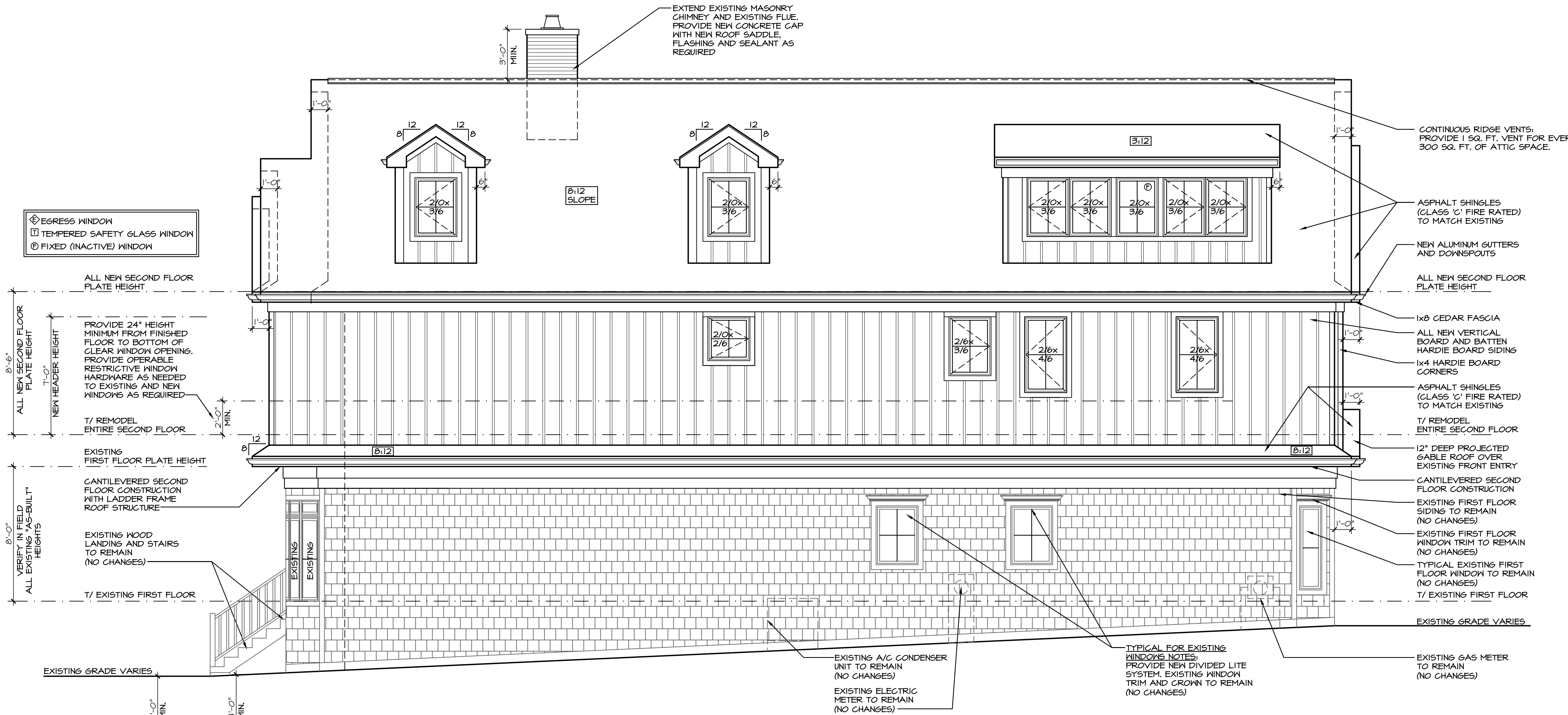
**RAPP RESIDENCE**  
 ADDITION/REMODEL  
 22 UPPER LOCH VISTA DRIVE  
 WILLIAMS BAY, WI 53191

11/12/2025	REVIEW	02/27/2026	REVIEW	03/04/2026	REVIEW
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26575 COMMERCE DR. SUITE 607 VOLO, IL 60073 MAIN: 847-457-2500 WWW.ASPECTDESIGNINC.COM LICENSE # 2968411
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**ASPECT DESIGN INC.**  
 ARCHITECTS

PROJECT #	AD25221
DRAWN BY:	DB/NH
22 UPPER LOCH VISTA DR. PROP. ELEVATIONS	
<b>A 09</b>	
# 9 OF 18 TOTAL SHEETS	



LEGEND		
EXISTING WALL TO REMAIN		NEW CONCRETE FOUNDATION WALL
NEW FRAME WALL		EXISTING WALL AND ASSOCIATED ELEMENTS TO BE REMOVED
EXISTING CONCRETE FOUNDATION WALL TO REMAIN		PATCH AND REPAIR AS REQUIRED TO MATCH EXISTING
		SHORE UP EXISTING CONSTRUCTION AS REQUIRED

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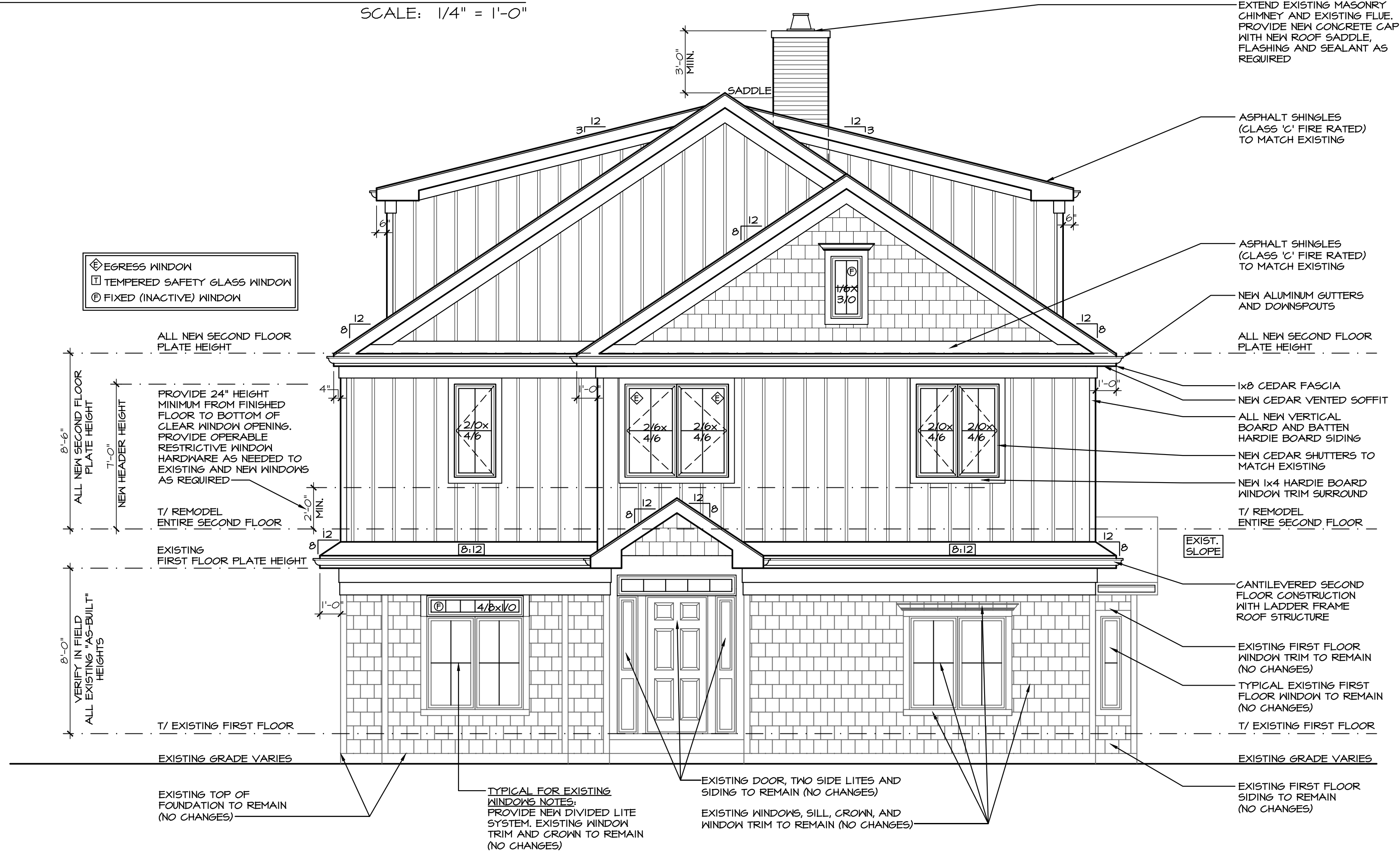
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REPAIR AND PATCH EXISTING CONSTRUCTION AS REQUIRED TO MATCH EXISTING

**2 RIGHT ELEVATION**  
PROPOSED

SCALE: 1/4" = 1'-0"



**1 REAR ELEVATION**  
PROPOSED

SCALE: 1/4" = 1'-0"

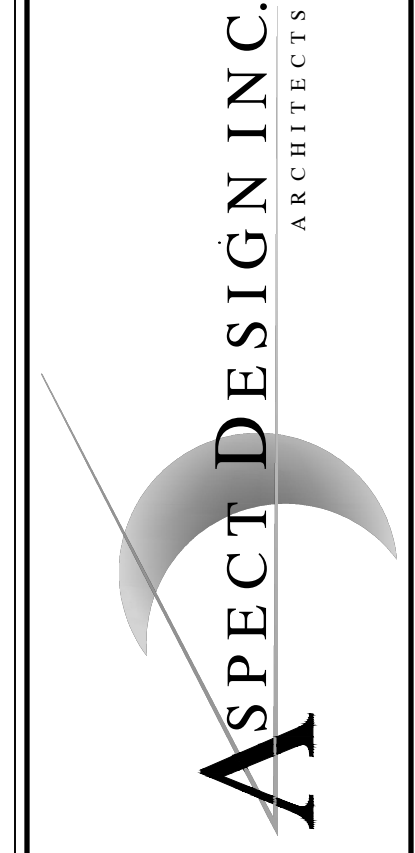
NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24"x36" SIZE PAPER. (ARCH-D)

**REVIEW ONLY-NOT FOR CONSTRUCTION**

**RAPP RESIDENCE**  
ADDITION/REMODEL  
22 UPPER LOCH VISTA DRIVE  
WILLIAMS BAY, WI 53191

REVIEW	11/12/2025
REVIEW	02/27/2026
REVIEW	03/04/2026

26575 COMMERCE DR.  
SUITE 607  
VOLO, IL 60073  
MAIN: 847-457-2500  
WWW.ASPECTDESIGNINC.COM  
WISCONSIN LICENSE # 2968411



PROJECT # AD25221  
DRAWN BY: DB/NH  
22 UPPER LOCH VISTA DR.  
PROP. ELEVATIONS

**A 10**  
# 10 OF 18 TOTAL SHEETS

REVIEW ONLY - NOT FOR CONSTRUCTION

RAPP  
RESIDENCE

ADDITION/REMODEL  
22 UPPER LOCH VISTA DRIVE  
WILLIAMS BAY, WI 53191

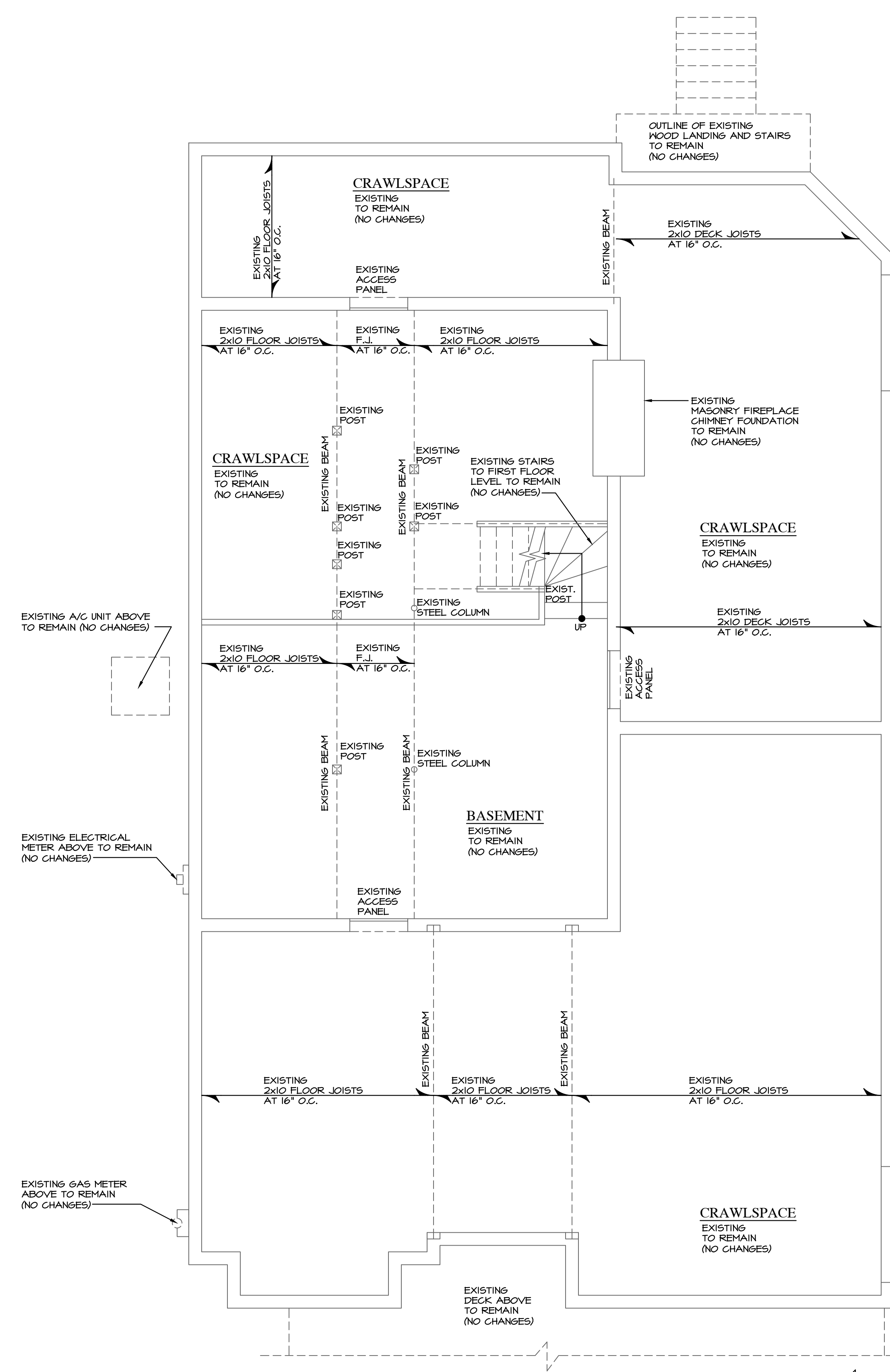
REVIEW	11/12/2025
REVIEW	02/27/2026
REVIEW	03/04/2026

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**ASPECT DESIGN INC.**  
ARCHITECTS



PROJECT #	AD25221
DRAWN BY:	DB/NH
22 UPPER LOCH VISTA DR. PROP. BASEMENT PLAN	
<b>A 11</b>	
# 11 OF 18 TOTAL SHEETS	



**LEGEND**

EXISTING WALL TO REMAIN	NEW CONCRETE FOUNDATION WALL
NEW FRAME WALL WOOD STUDS @ 16" O.C. 1/2" DRYWALL EACH SIDE	EXISTING WALL AND ASSOCIATED ELEMENTS TO BE REMOVED PATCH AND REPAIR AS REQUIRED TO MATCH EXISTING
EXISTING CONCRETE FOUNDATION WALL TO REMAIN	SHORE UP EXISTING CONSTRUCTION AS REQUIRED

**REMODELING NOTES**

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- REPAIR AND PATCH EXISTING CONSTRUCTION AS REQUIRED TO MATCH EXISTING

1  
A 11

**BASEMENT PLAN**  
PROPOSED

SCALE: 1/4" = 1'-0"  
N

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24"x36" SIZE PAPER. (ARCH-D)



# REVIEW ONLY-NOT FOR CONSTRUCTION

RAPP  
RESIDENCE

ADDITION/REMODEL  
22 UPPER LOCH VISTA DRIVE  
WILLIAMS BAY, WI 53191

REVIEW	11/12/2025
REVIEW	02/27/2026
REVIEW	03/04/2026

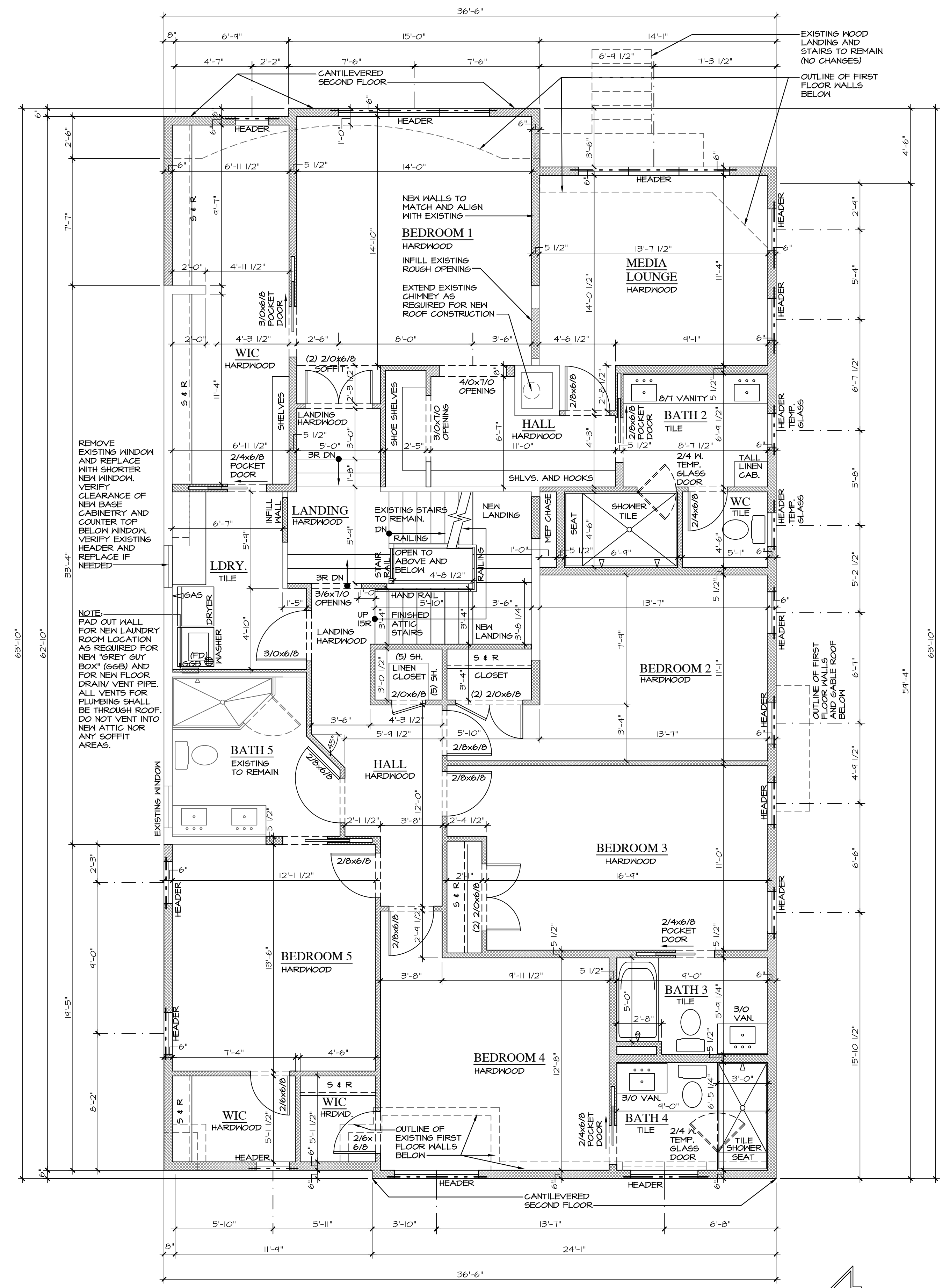
26575 COMMERCE DR. SUITE 607 VOLO, IL 60073 MAIN: 847-457-2500 WWW.ASPECTDESIGNINC.COM WILICENSE # 2968411
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**ASPECT DESIGN INC.**  
ARCHITECTS

PROJECT # AD25221  
DRAWN BY: DB/NH  
22 UPPER LOCH VISTA DR.  
PROP. SECOND FLOOR PLAN

**A 13**

# 13 OF 18 TOTAL SHEETS



REVIEW ONLY-NOT FOR CONSTRUCTION

RAPP  
RESIDENCE

ADDITION/REMODEL  
22 UPPER LOCH VISTA DRIVE  
WILLIAMS BAY, WI 53191

REVIEW	11/12/2025
REVIEW	02/27/2026
REVIEW	03/04/2026

26575 COMMERCE DR. SUITE 607 VOLO, IL 60073	11/12/2025
WWW.ASPECTDESIGNINC.COM WISCONSIN # 2984911	02/27/2026
	03/04/2026

**ASPECT DESIGN INC.**  
ARCHITECTS

PROJECT # AD25221  
DRAWN BY: DB/NH  
22 UPPER LOCH VISTA DR.  
PROP. FIN. ATTIC PLAN

**A 14**

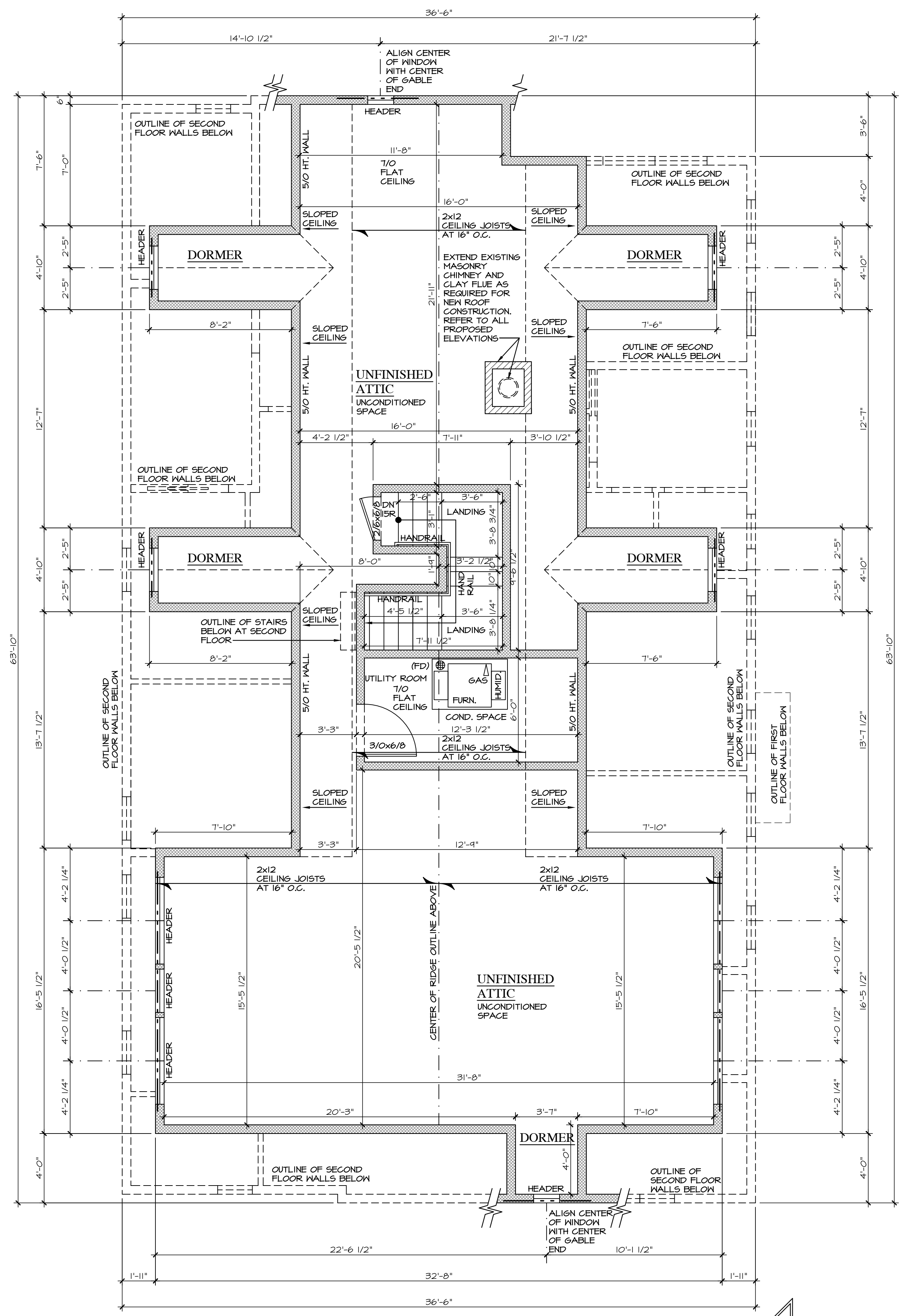
# 14 OF 18 TOTAL SHEETS

**LEGEND**

EXISTING WALL TO REMAIN	NEW CONCRETE FOUNDATION WALL
NEW FRAME WALL WOOD STUDS @ 16" O.C. 1/2" DRYWALL EACH SIDE	EXISTING WALL AND ASSOCIATED ELEMENTS TO BE REMOVED PATCH AND REPAIR AS REQUIRED TO MATCH EXISTING
EXISTING CONCRETE FOUNDATION WALL TO REMAIN	SHORE UP EXISTING CONSTRUCTION AS REQUIRED

**REMODELING NOTES**

- VERIFY ALL EXISTING CONDITIONS AND COMPARE TO THE PLANS PRIOR TO THE START OF CONSTRUCTION. NOTIFY THE GENERAL CONTRACTOR AND ARCHITECT IMMEDIATELY UPON THE DISCOVERY OF ANY DISCREPANCIES.
- DISCONNECT AND CAP OFF ALL PLUMBING AND GAS PIPING, ELECTRICAL WIRING AND DEVICES, LOW VOLTAGE WIRING, MECHANICAL DUCT WORK AS REQUIRED FOR NEW CONSTRUCTION.
- ALL DEMOLITION OF EXISTING PLUMBING PIPING, FIXTURES AND EQUIPMENT ETC. SHALL BE PERFORMED BY A WISCONSIN LICENSED PLUMBER.
- SHORE UP ALL EXISTING STRUCTURE AS REQUIRED FOR ALL NEW CONSTRUCTION
- CONNECT NEW PLUMBING SUPPLY WASTE AND VENT PIPES TO EXISTING. VERIFY TYPE, VERIFY EXISTING PIPE SIZE AND SYSTEM CAPACITY TO ACCOMMODATE NEW CONSTRUCTION. RE-WORK AS REQUIRED.
- CONNECT NEW ELECTRICAL CIRCUITS TO EXISTING PANEL. VERIFY PANEL SIZE AND AVAILABLE CIRCUITS. SUPPLY AND INSTALL AN ADDITIONAL SUB PANEL IF REQUIRED.
- CONNECT NEW HVAC DUCTS TO EXISTING. VERIFY SIZE AND CAPACITY OF EXISTING HVAC EQUIPMENT AND REWORK AS REQUIRED TO MEET THE REQUIREMENTS OF THE NEW ADDITION.
- ALL EXPOSED CEILING, WALL AND FLOOR CAVITIES SHALL BE FILLED WITH INSULATION. VERIFY R-VALUE WITH BUILDING INSPECTOR.
- REPAIR AND PATCH EXISTING CONSTRUCTION AS REQUIRED TO MATCH EXISTING



1  
A 14

**UNFINISHED ATTIC FLOOR PLAN**

PROPOSED

SCALE: 1/4" = 1'-0"



NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24"x36" SIZE PAPER. (ARCH-D)



**LEGEND**

- EXISTING WALL TO REMAIN
- NEW CONCRETE FOUNDATION WALL
- NEW FRAME WALL WOOD STUDS @ 16" O.C. 1/2" DRYWALL EACH SIDE
- EXISTING WALL AND ASSOCIATED ELEMENTS TO BE REMOVED PATCH AND REPAIR AS REQUIRED TO MATCH EXISTING
- EXISTING CONCRETE FOUNDATION WALL TO REMAIN
- SHORE UP EXISTING CONSTRUCTION AS REQUIRED

**REMODELING NOTES**

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SHORE UP ALL EXISTING STRUCTURE AS REQUIRED FOR ALL NEW CONSTRUCTION

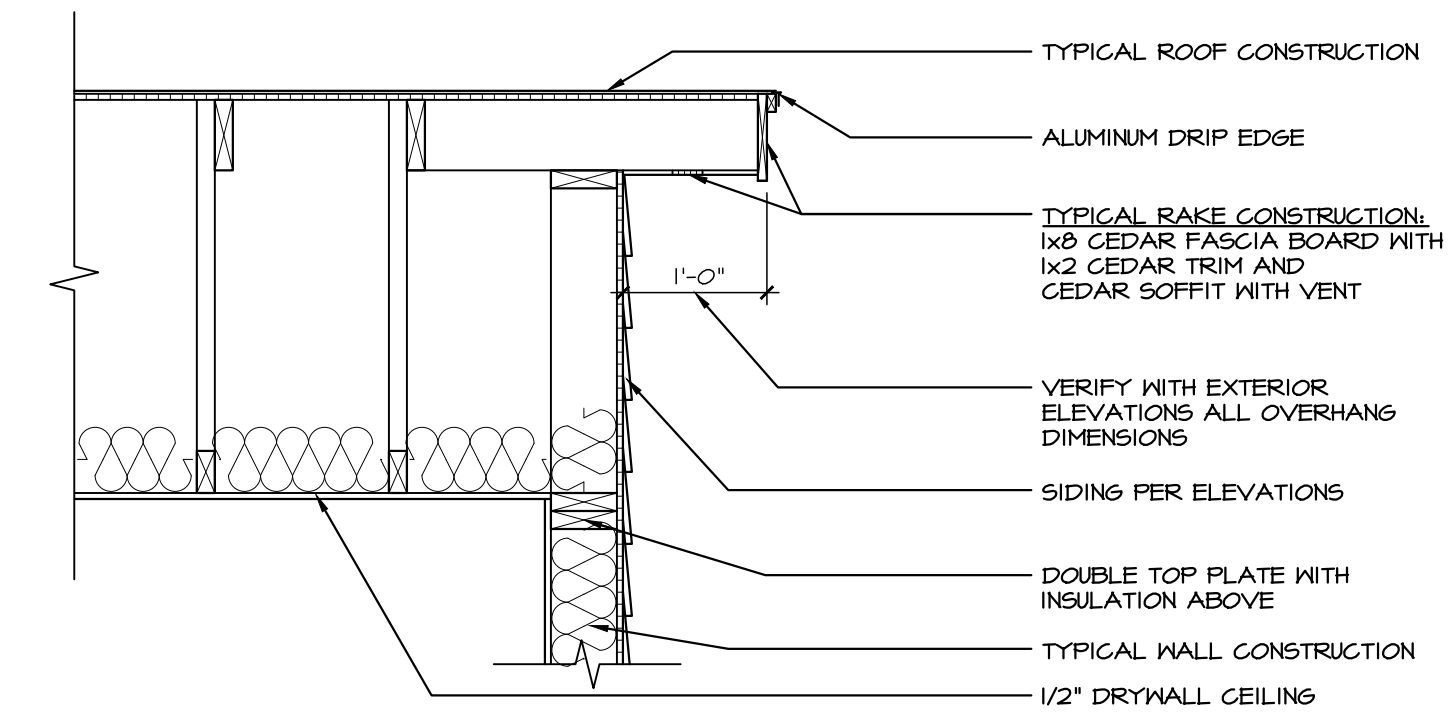
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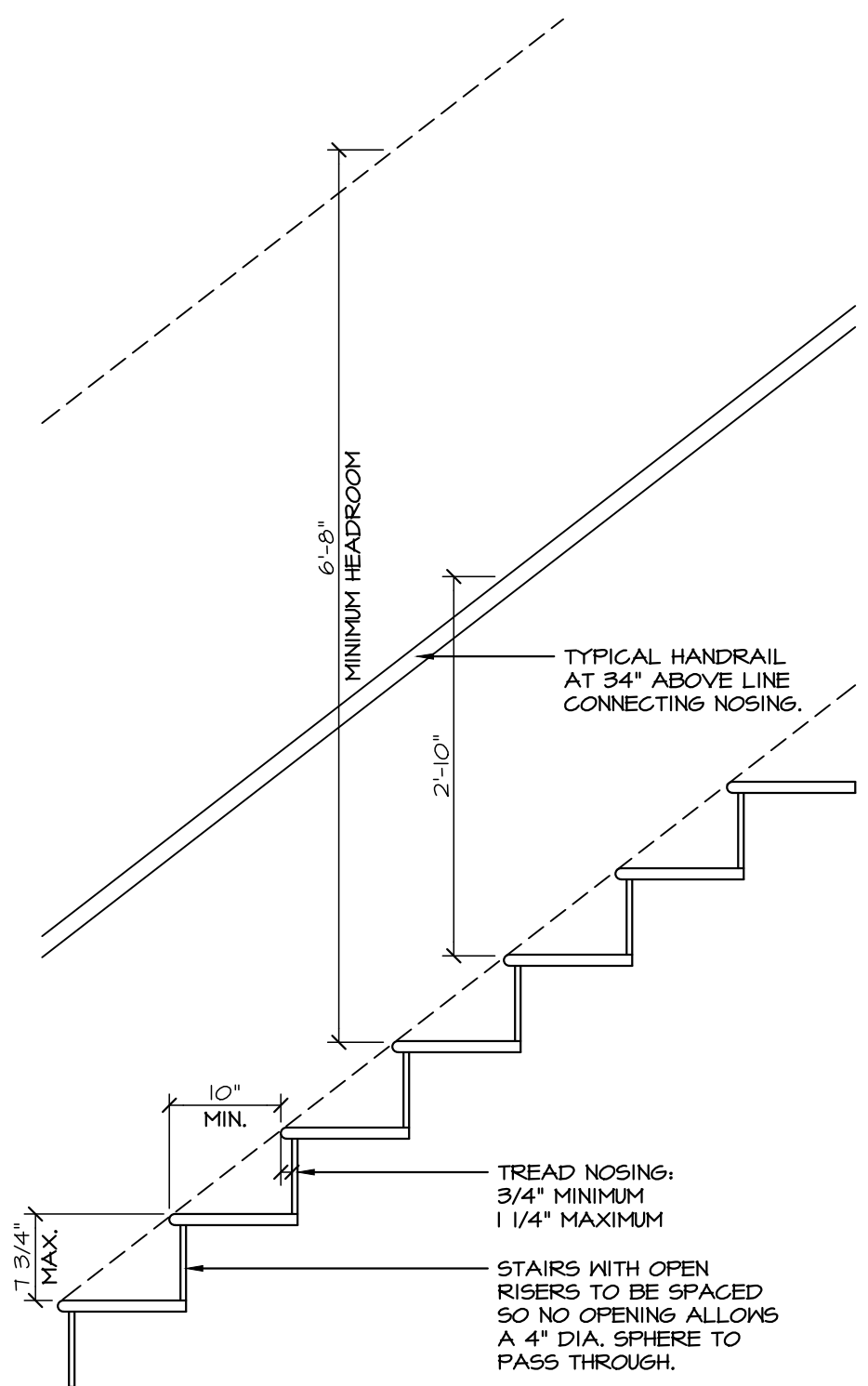
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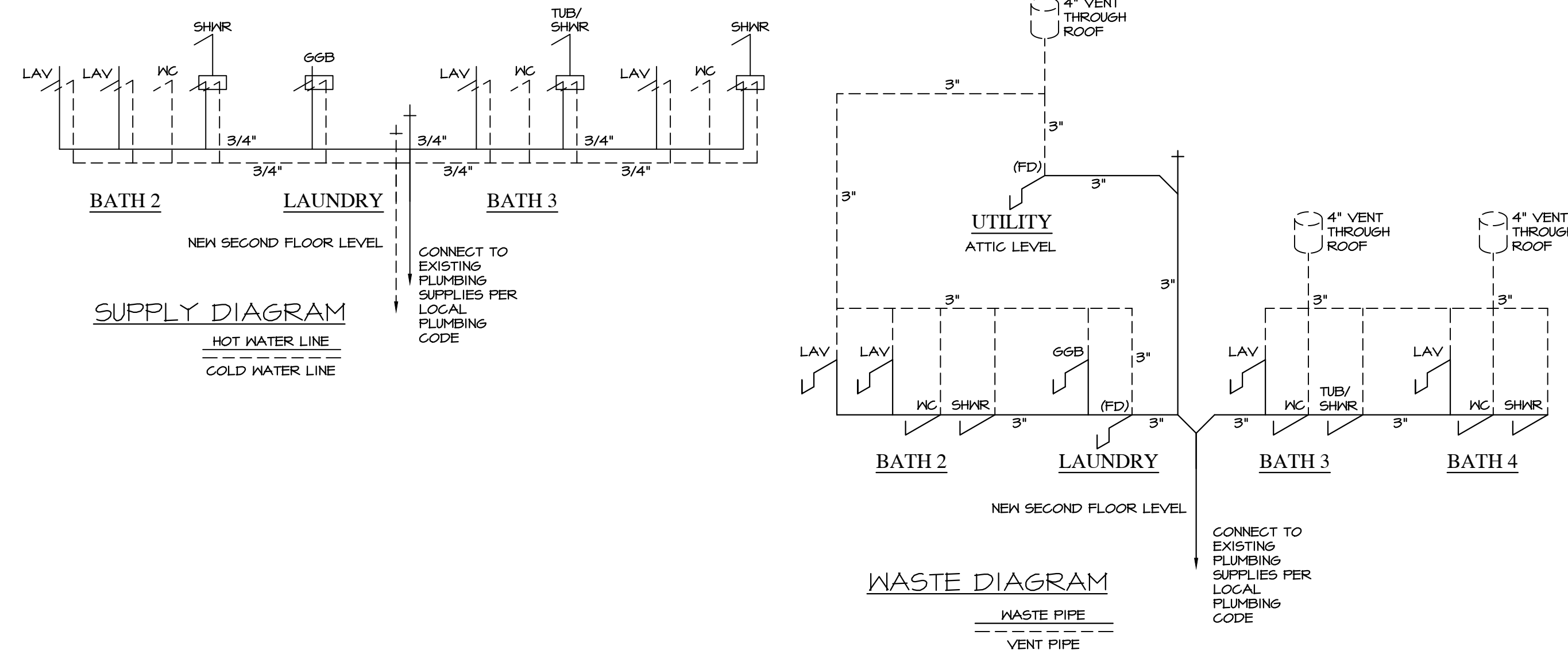


**2** TYPICAL RAKE DETAIL  
A 16 ADDITION/ REMODEL SCALE: 3/4" = 1'-0"



**3** TYPICAL STAIR SECTION WITH RAILING NOTES  
A 16 ADDITION/ REMODEL NOT TO SCALE

**TYPICAL STAIR NOTES:**  
ALL STAIRS AND RAILS TO BE CONSTRUCTED PER LOCAL CODE REQUIREMENTS.  
ALL STAIR RAILS TO BE CONTINUOUS.  
7 3/4" MAX. RISER 10" MINIMUM TREAD.  
TYPICAL HANDRAIL: HANDRAILS TO BE PROVIDED ON STAIRWAYS OF THREE OR MORE RISERS. MINIMUM 34", MAXIMUM 38" ABOVE LINE CONNECTING NOSINGS. ENDS TO BE RETURNED OR TERMINATED AT NEHEL POST.  
TYPICAL STAIR RAIL: STAIR RAILS TO BE PROVIDED ON STAIRWAYS OF THREE OR MORE RISERS. MINIMUM 34", MAXIMUM 38" ABOVE LINE CONNECTING NOSINGS WITH BALLISTERS SPACED SO THAT NO OPENING ALLOWS A 4" DIA. SPHERE TO PASS THROUGH. ENDS TO BE RETURNED OR TERMINATED AT NEHEL POST.  
TYPICAL BALCONY RAIL: BALCONY RAILS TO BE MINIMUM 36" ABOVE FINISH FLOOR WITH BALLISTERS SPACED SO THAT NO OPENING ALLOWS A 4" DIA. SPHERE TO PASS THROUGH. ENDS TO BE RETURNED OR TERMINATED AT NEHEL POST.



**1** PARTIAL PLUMBING DIAGRAMS  
A 16 ADDITION/ REMODEL NOT TO SCALE

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24"x36" SIZE PAPER. (ARCH-D)

**REVIEW ONLY - NOT FOR CONSTRUCTION**

RAPP RESIDENCE  
ADDITION/REMODEL  
22 UPPER LOCH VISTA DRIVE  
WILLIAMS BAY, WI 53191

11/12/2025	REVIEW
02/27/2026	REVIEW
03/04/2026	REVIEW

26575 COMMERCE DR. SUITE 607 VOLO, IL 60073 MAIN: 847-457-2500 WWW.ASPECTDESIGNINC.COM WISCONSIN # 2984011
---

PROJECT #	AD25221
DRAWN BY:	DB/ NH
22 UPPER LOCH VISTA DR. TYPICAL DETAILS	

**ASPECT DESIGN INC.**  
ARCHITECTS

**A 16**

# 16 OF 18 TOTAL SHEETS

# REVIEW ONLY-NOT FOR CONSTRUCTION

RAPP  
RESIDENCE

ADDITION/REMODEL  
22 UPPER LOCH VISTA DRIVE  
WILLIAMS BAY, WI 53191

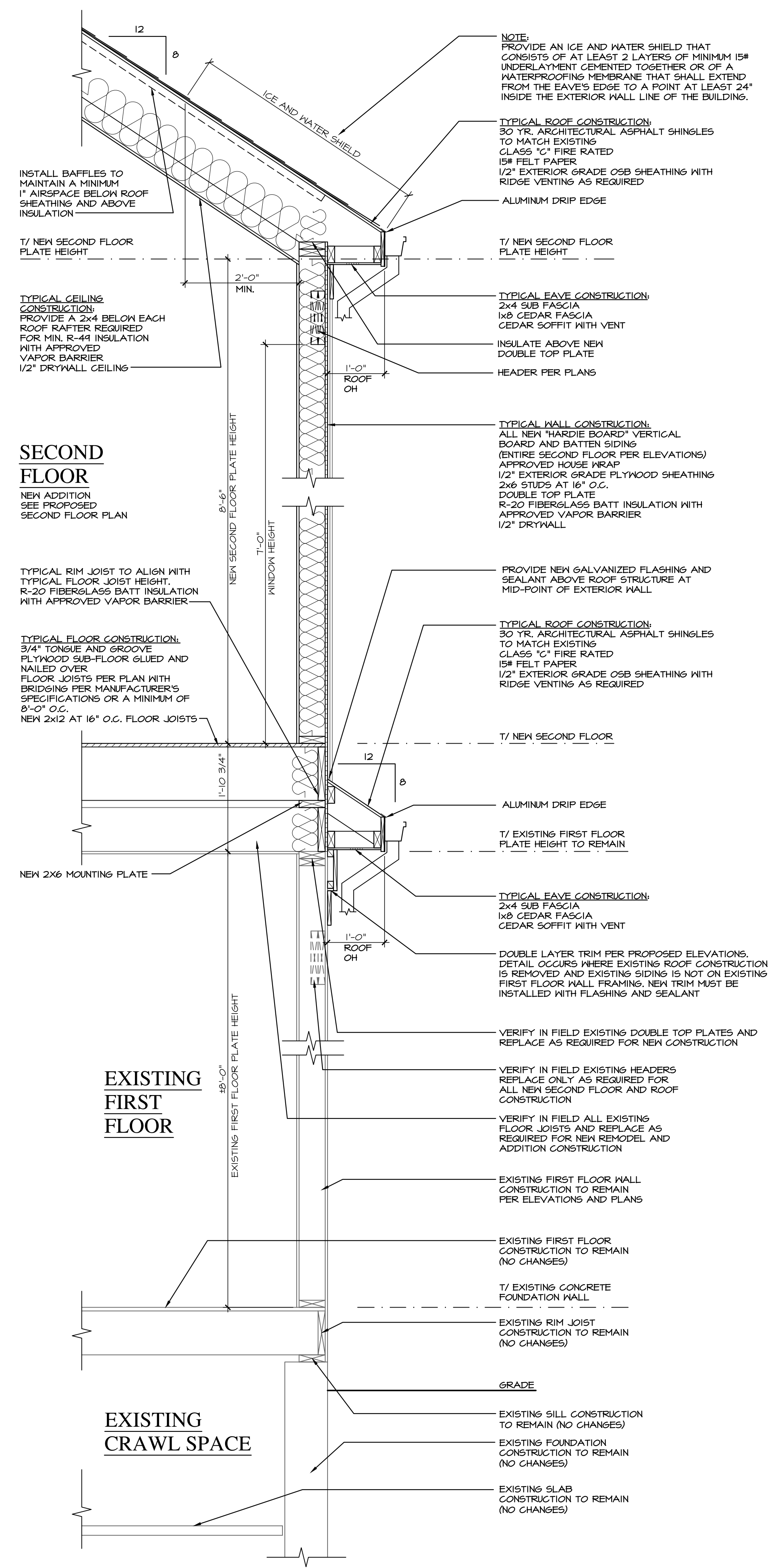
REVIEW	11/12/2025
REVIEW	02/27/2026
REVIEW	03/04/2026

REVIEW	11/12/2025
REVIEW	02/27/2026
REVIEW	03/04/2026

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PROJECT # AD25221  
DRAWN BY: DB/NH  
22 UPPER LOCH VISTA DR.  
TYPICAL WALL SECTION  
**A 17**  
# 17 OF 18 TOTAL SHEETS



**SECOND FLOOR**  
NEW ADDITION  
SEE PROPOSED  
SECOND FLOOR PLAN

**EXISTING FIRST FLOOR**

**EXISTING CRAWL SPACE**

### LEGEND

EXISTING WALL TO REMAIN		NEW CONCRETE FOUNDATION WALL	
NEW FRAME WALL WOOD STUDS @ 16" O.C. 1/2" DRYWALL EACH SIDE		EXISTING WALL AND ASSOCIATED ELEMENTS TO BE REMOVED PATCH AND REPAIR AS REQUIRED TO MATCH EXISTING	
EXISTING CONCRETE FOUNDATION WALL TO REMAIN		SHORE UP EXISTING CONSTRUCTION AS REQUIRED	

### REMODELING NOTES

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1  
A 17

## TYPICAL WALL SECTION

PROPOSED

SCALE: 1/4" = 1'-0"

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24"x36" SIZE PAPER. (ARCH-D)

**ELECTRICAL LEGEND**

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	DUPLEX RECEPTACLE		TELEPHONE JACK
	DUPLEX RECEPTACLE SPLIT WIRED TO SWITCH		FAX LINE
	GROUND FAULT INTERRUPTER RECEPTACLE		COMPUTER MODEM HOOK-UP
	RECESSED PICTURE LIGHT RECEPTACLE SPLIT WIRED TO SWITCH (VERIFY HEIGHT W/ OWNER)		BUNDLE CABLE - TV, DSL, FIBER OPTICS, PHONE
	QUAD RECEPTACLE		TELEVISION / CABLE JACK
	DIRECT CONNECT SPECIAL PURPOSE OUTLET / J-BOX		ALARM CONTROL PANEL
	RECESSED FLOOR RECEPTACLE SPLIT WIRED TO SWITCH		DOORBELL CHIME
	PLUG MOLD		VOLUME CONTROL
	SINGLE POLE SWITCH		SMOKE DETECTOR
	3-WAY SWITCH		GAS SUPPLY W/ VALVE
	DIMMER - Lutron Maestro Series (Verify Voltage Req.)		EXTERIOR FLOOD LIGHT
	CEILING FAN SWITCH BY FAN MANUFACTURER		COMBINATION FAN LIGHT
	TIMER SWITCH INTERMOTIC		EXHAUST FAN - CEILING MOUNTED
	RECESSED LIGHT FIXTURE		MOTOR CONNECTION
	RECESSED WALL WASHER LIGHT FIXTURE		PROGRAMMABLE THERMOSTAT
	LIGHT FIXTURE - CEILING MOUNTED		AUDIO SPEAKER (FLUSH CEILING MOUNTED)
	LIGHT FIXTURE - WALL MOUNTED		
	UNDERCABINET MTD. LIGHT FIXTURE		

NOTE: ALL ELECTRICAL BRANCH CIRCUITS INSTALLED IN BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER.

**LEGEND**

	EXISTING WALL TO REMAIN		NEW CONCRETE FOUNDATION WALL
	NEW FRAME WALL WOOD STUDS @ 16" O.C. 1/2" DRYWALL EACH SIDE		EXISTING WALL AND ASSOCIATED ELEMENTS TO BE REMOVED PATCH AND REPAIR AS REQUIRED TO MATCH EXISTING
	EXISTING CONCRETE FOUNDATION WALL TO REMAIN		SHORE UP EXISTING CONSTRUCTION AS REQUIRED

**REMODELING NOTES**

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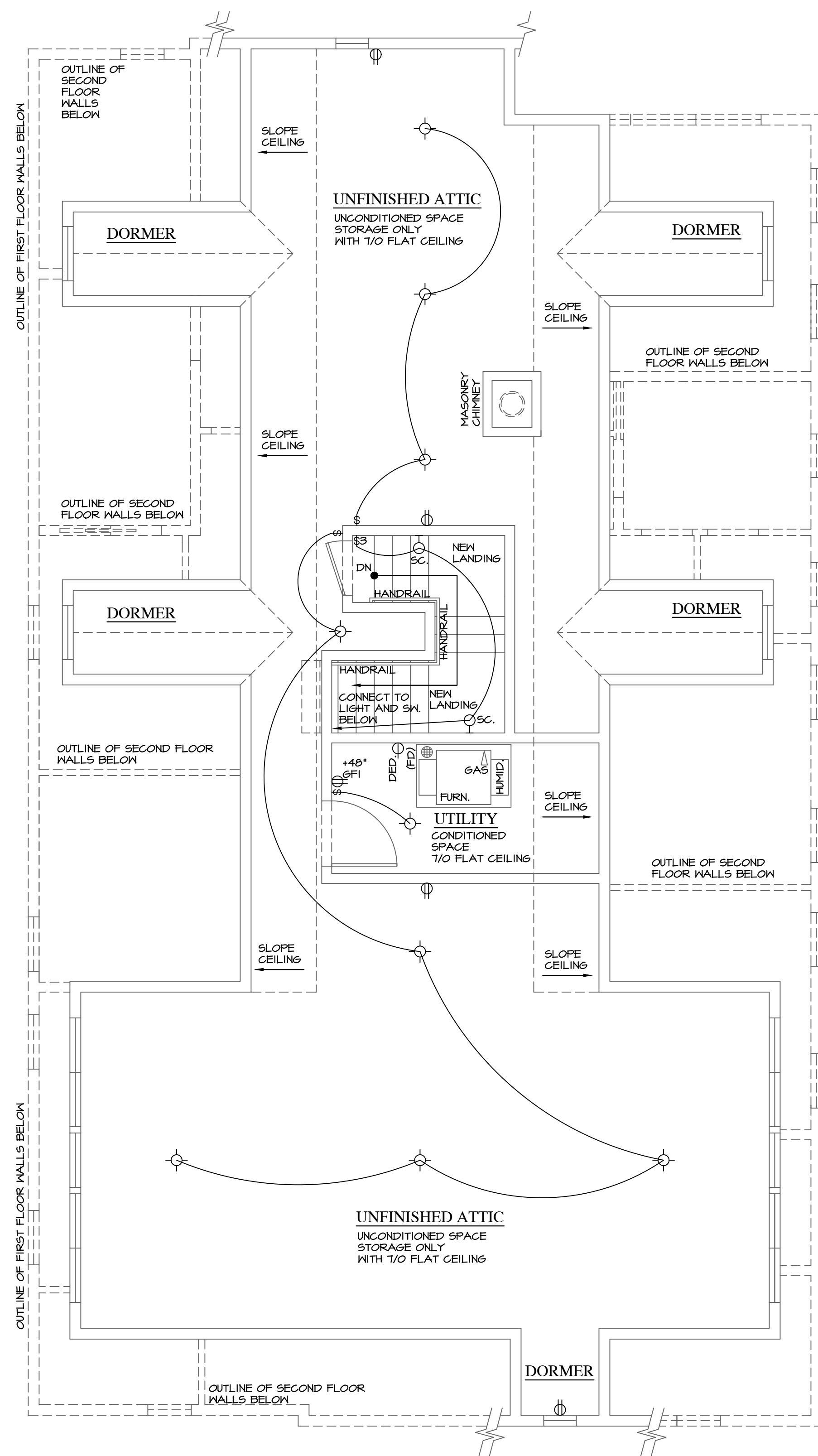
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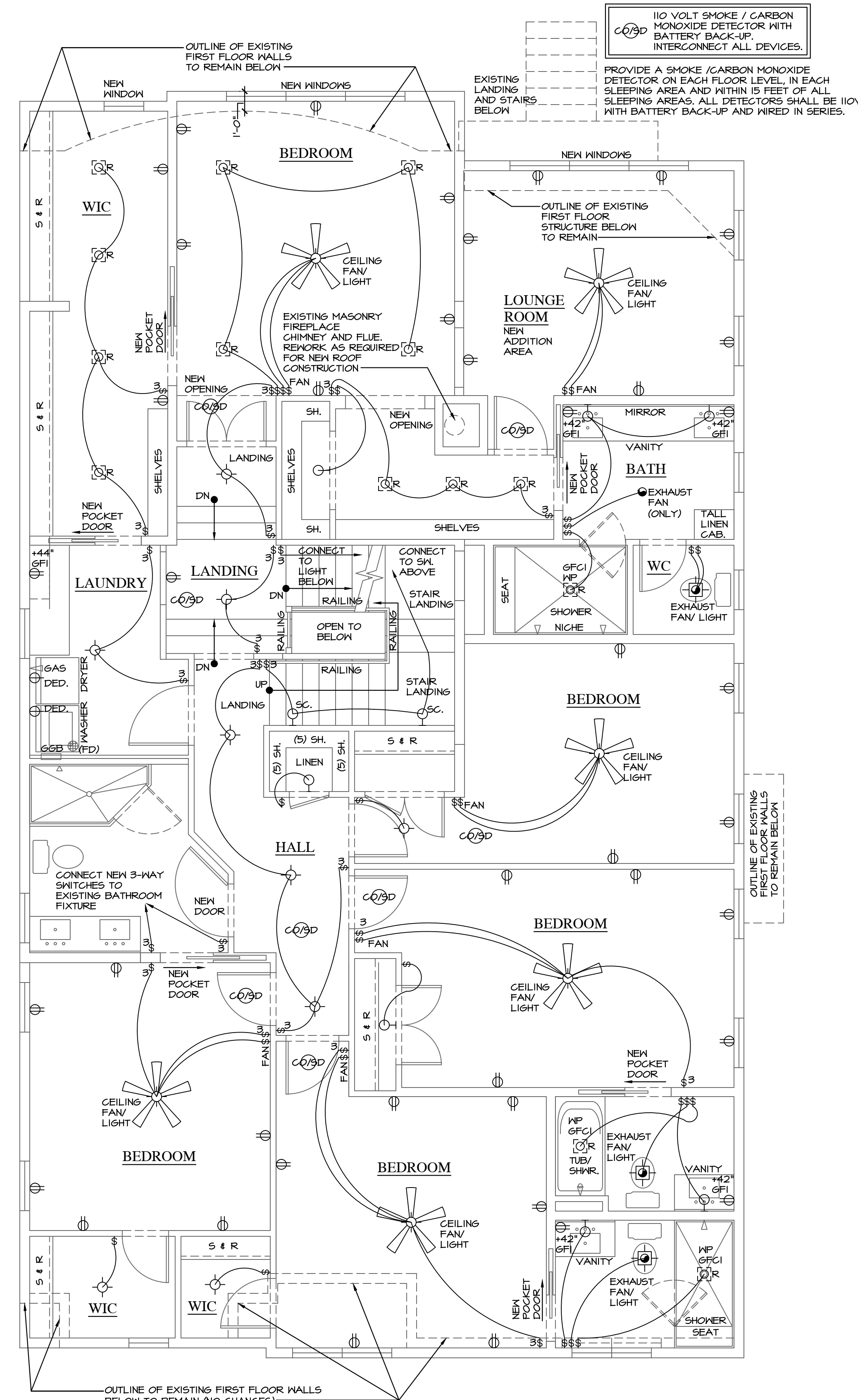
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REPAIR AND PATCH EXISTING CONSTRUCTION AS REQUIRED TO MATCH EXISTING



**2 UNFINISHED ATTIC ELECTRICAL PLAN**  
A 18 PROPOSED SCALE: 1/4" = 1'-0"



**1 SECOND FLOOR - ELECTRICAL PLAN**  
A 18 PROPOSED SCALE: 1/4" = 1'-0"

**REVIEW ONLY - NOT FOR CONSTRUCTION**

**RAPP RESIDENCE**  
ADDITION/REMODEL  
22 UPPER LOCH VISTA DRIVE  
WILLIAMS BAY, WI 53191

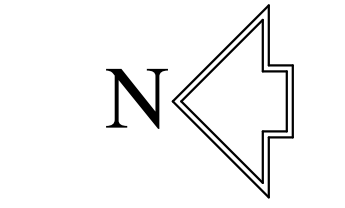
REVIEW	11/12/2025
REVIEW	02/27/2026
REVIEW	03/04/2026

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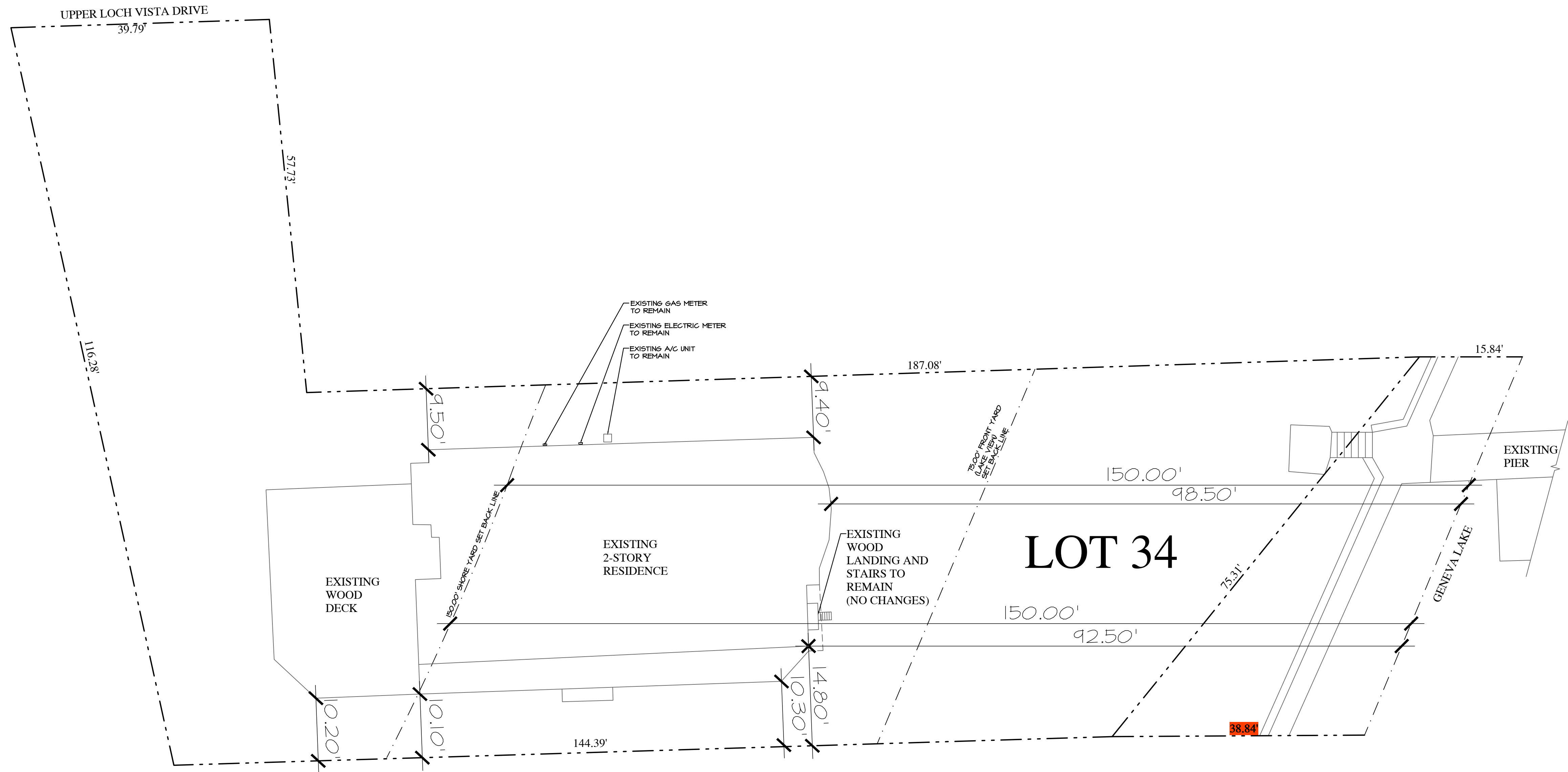
**ASPECT DESIGN INC.**  
ARCHITECTS

PROJECT # AD25221  
DRAWN BY: DB/NH  
22 UPPER LOCH VISTA DR.  
ELECTRICAL PLAN

**A 18**  
# 18 OF 18 TOTAL SHEETS



NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24"x36" SIZE PAPER. (ARCH-D)

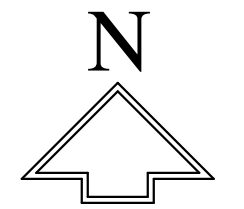


**1**  
**Z 01**

**SITE PLAN**  
REFERENCE PLAN ONLY

**NOTE:**  
ALL SURVEY AND CIVIL ENGINEERING BY OTHERS.  
TOPOGRAPHY/ GRADE ELEVATIONS BY OTHERS.  
PLAT OF SURVEY BY OTHERS.

SCALE: 1" = 10'-0"



NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24"x36" SIZE PAPER. (ARCH-D)

**RAPP RESIDENCE**  
ADDITION/REMODEL  
22 UPPER LOCH VISTA DRIVE  
WILLIAMS BAY, WI 53191

ZONING REVIEW 02/17/2026  
ZONING REVIEW 03/04/2026

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PROJECT # AD25221  
DRAWN BY: DB/NH  
22 UPPER LOCH VISTA DR.  
REFERENCE SITE PLAN

**ASPECT DESIGN INC.**  
ARCHITECTS

**Z 01**  
# 1 OF 3 TOTAL SHEETS

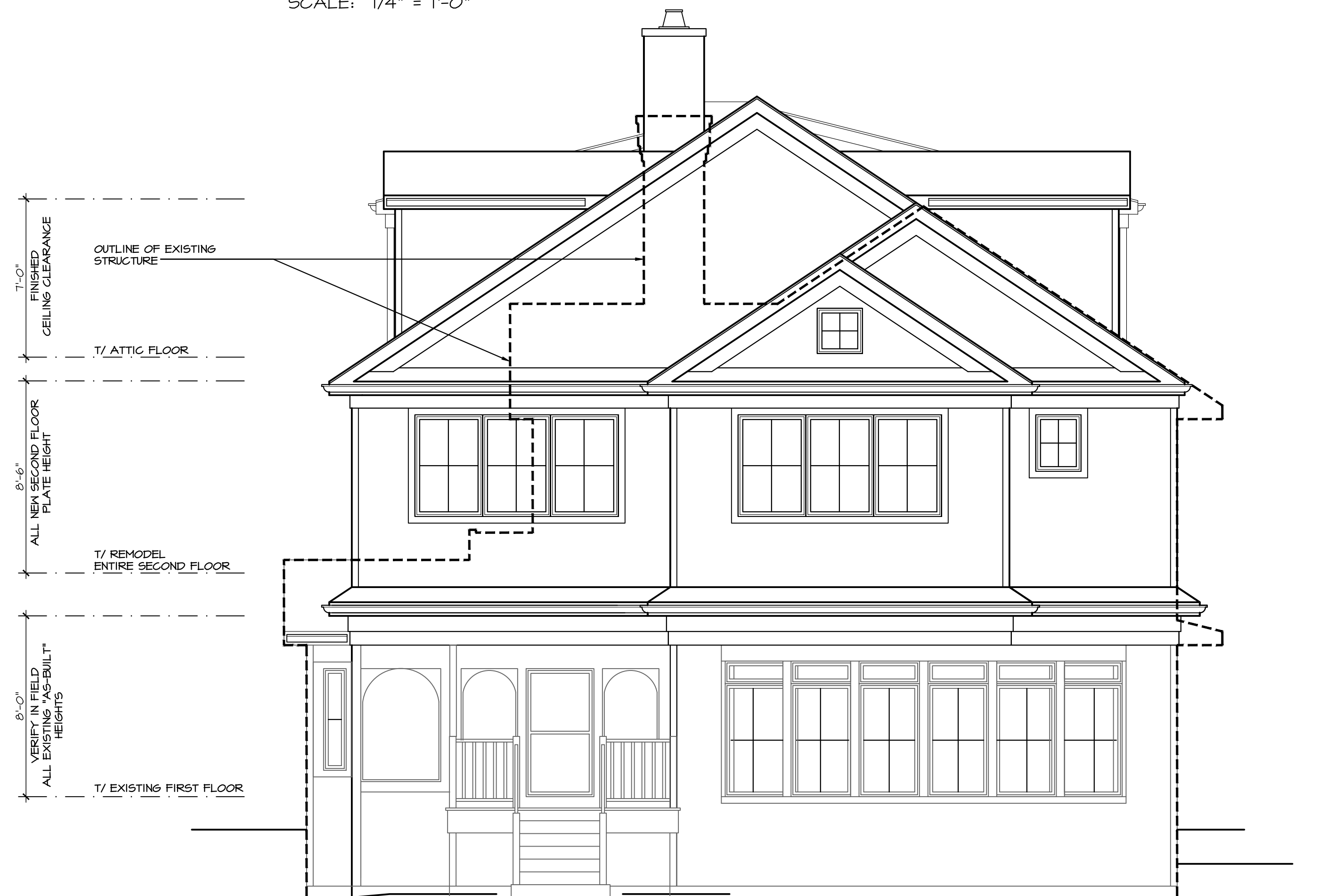
**REVIEW ONLY - NOT FOR CONSTRUCTION**



2  
Z 02

PROPOSED LEFT ELEVATION

SCALE: 1/4" = 1'-0"



1  
Z 02

PROPOSED FRONT ELEVATION

(LAKE VIEW)

SCALE: 1/4" = 1'-0"

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REVIEW ONLY-NOT FOR CONSTRUCTION

RAPP  
RESIDENCE  
ADDITION/REMODEL  
22 UPPER LOCH VISTA DRIVE  
WILLIAMS BAY, WI 53191

ZONING REVIEW	02/17/2026
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ARCHITECTS

PROJECT # AD25221  
DRAWN BY: DB/NH  
22 UPPER LOCH VISTA DR.  
ELEVATIONS

Z 02  
# 3 OF 3 TOTAL SHEETS

REVIEW ONLY - NOT FOR CONSTRUCTION



2 PROPOSED RIGHT ELEVATION  
Z 03

SCALE: 1/4" = 1'-0"



1 PROPOSED REAR ELEVATION  
Z 03

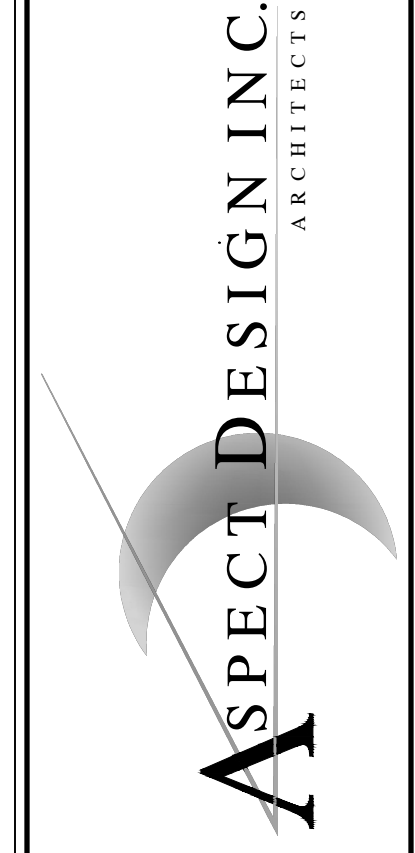
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RAPP  
RESIDENCE  
ADDITION/REMODEL  
22 UPPER LOCH VISTA DRIVE  
WILLIAMS BAY, WI 53191

ZONING REVIEW	02/17/2026
ZONING REVIEW	03/04/2026

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WISCONSIN # 298411



PROJECT # AD25221  
DRAWN BY: DB/NH  
22 UPPER LOCH VISTA DR.  
ELEVATIONS

Z 03  
# 3 OF 3 TOTAL SHEETS



Renee Lanam &lt;reneelanam@gmail.com&gt;

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**22 Upper Loch Vista additiion**

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rlpande@aol.com &lt;rlpande@aol.com&gt;

Mon, Mar 2, 2026 at 2:18 PM

To: Renee Lanam &lt;reneelanam@gmail.com&gt;, Steph Rapp &lt;stephrapp1@gmail.com&gt;

Cc: Lisa Trajkovich &lt;trak2@aol.com&gt;

Good luck!

*Dear Village of Williams Bay,**We have been contacted by the neighbors to the south of us at 22 Loch Vista Drive regarding their proposed home remodel. After reviewing the elevation plans dated February 13, 2026, we fully support the project as presented and have no objection to the proposed improvements.**The updated design remains consistent with the character and scale of recent homes constructed in our neighborhood. In fact, even with the proposed expansion, the residence will remain smaller than several homes that have been approved and built in recent years.**We believe it is both reasonable and appropriate to allow thoughtful modernization of older homes so they can remain aligned with the overall quality and enhancements occurring throughout the community. This remodel represents a positive investment in the neighborhood and maintains its established standards.**Lisa Trajkovich  
Robin Pande  
6 Upper Loch Vista Drive*

[Quoted text hidden]



Renee Lanam &lt;reneelanam@gmail.com&gt;

---

**22 Upper Loch Vista addition**

---

Renee Lanam &lt;reneelanam@gmail.com&gt;

Wed, Mar 4, 2026 at 6:56 AM

To: "&lt;clcurry66@sbcglobal.net&gt;" &lt;clcurry66@sbcglobal.net&gt;

Hi Craig—

We are moving forward with submitting plans to do an addition to our house. As I mentioned, the addition would stay in the house's current footprint. Also, the current footprint is ~6 inches into the setback on the side that is next to you. Rather than doing the addition with a 6" inset, we would like to just go straight up. Again, just want to confirm you are ok with that.

Let me know if you have any further questions or want to discuss.

All the best

Renee

Per in-person conversation on 2/13/26, Craig Curry stated he had no objection to our plans provided we did not expand our footprint. He also confirmed he had no objection to us building the addition straight up from the first floor eventhough it was 6" in the sideyard setback between our houses.

Renee Lanam

WLV3 00001



Renee Lanam <reneelanam@gmail.com>

Lake stuff

Peter Russell <petermrussell72@gmail.com>

Wed, Feb 25, 2026 at 9:58 AM

To: Renee Lanam <reneelanam@gmail.com>, Steph Rapp <stephrapp1@gmail.com>

Cc: Pamela Russell <pamelarussell.1@gmail.com>

Renee / Stephanie

Thanks again for reaching out to us and apologies for the long delay in responding back -- it took us a while to dig out after our trip and I just retired -- so that was some additional work getting things wrapped up.

We looked at your plans and, similar to the other neighbors, we have no concerns on your proposed second floor addition. Similar to Craig, we are very happy that you are staying within the same footprint. I think we all value the current setbacks from the lake side and the associated views for all.

Hope to see you up at the lake soon and that your discussions with the village go smoothly

Best, Peter & Pamela

Peter Russell  
+1-847-910-6220

[Quoted text hidden]

WLV2 00001



Renee Lanam <reneelanam@gmail.com>

### Support of Variance 22 Upper Loch Vista Drive

**rudycsa@aol.com** <rudycsa@aol.com>

Mon, Mar 2, 2026 at 10:18 AM

To: Stephanie Rapp <stephrapp1@gmail.com>, Renee Lanam <reneelanam@gmail.com>

To whom it may concern,

We are residents of 28 Lower Loch Vista Drive in Williams Bay and neighbors of Stephanie Rapp and Renee Lanam and their family. We support the variance they seek for the renovation of their home at 22 Upper Loch Vista Drive. We have lived here for over two decades.

Many of our older homes at the lake were built as summer residences. A century later, most of us owners desire the dream of living full-time at the lake. Accommodating our adult children (and hopefully grandchildren) as well as friends and family year-round is not the same as when wardrobes consist of swimsuits and sweatshirts, a dip in the lake substitutes for a shower, and all overflow of kids (and even adults) use sleeping bags for beds. Those have been the best summers of our lives but spring, fall, and winter call for a different approach.

We understand and respect the idea of protecting the Williams Bay uniqueness and lakefront beauty. The Lanam-Rapp proposal seems the best possible compromise under the very significant restrictions put in place in 2011.

We hope the village will grant the variance for 22 Upper Loch Vista Drive.

Karen Heidkamp and Rudy Altergott  
28 Lower Loch Vista Drive  
Williams Bay, WI 53191

3/8/26, 2:15 PM

WLV2 00003

Gmail - 22 Upper Loch Vista--additoin



Renee Lanam <reneelanam@gmail.com>

**22 Upper Loch Vista--additoin**

Pat Erickson <bultika22@gmail.com>  
To: Renee Lanam <reneelanam@gmail.com>  
Cc: Deb & Pat Erickson <discodc81@aol.com>

Wed, Mar 4, 2026 at 6:34 PM

Hey Renee,

Sounds like a good plan staying in the footprint. Happy to send a quick email of support for your addition.



Talk soon,

Pat

[Quoted text hidden]

WLV2 00002



Renee Lanam <reneelanam@gmail.com>

lakehouse addition

bretkimes@gmail.com <bretkimes@gmail.com>  
To: Renee Lanam <reneelanam@gmail.com>

Fri, Mar 6, 2026 at 7:01 AM

Renee:

Thanks for sharing good luck with the project.

Bret

Bret Kimes  
(314) 623-4430  
Sent from my iPhone

> On Mar 3, 2026, at 1:38 PM, Renee Lanam <reneelanam@gmail.com> wrote:  
>  
>

[Quoted text hidden]

> <02 13 2026 Rapp - Zoning Sheets (2).pdf>

WWUP 00073

**Congress Club, Inc.**  
Williams Bay, Wisconsin

**Date:** March 3, 2026  
**To:** Village of Williams Bay Plan Commission  
**Subject:** 22 Upper Loch Vista Addition  
**From:** Board of Directors, Congress Club

Commissioners: We are sending this letter in support of Renee Lanam and Stephanie Rapp's intention to build an addition on their home. It is our understanding that the home will remain in the same footprint and the height will be below the 35 foot Williams Bay limit.

Congress Club's property is immediately to the south of Loch Vista association's property. Renee and Stephanie are former homeowners and members at Congress Club and we continue to have a good relationship with them. We believe the planned improvements will be appropriate for their property and enhance the value of all of our nearby homes.

Sincerely,  
Congress Club, Inc.

By:     /5/      
William Lehman, President



TEXT FROM  
JOHN LOTHIAN

---



Renee Lanam <reneelanam@gmail.com>

**22 Upper Loch vista addition**

**Gloria Giralamo** <gloriagiralamo@att.net>  
To: Renee Lanam <reneelanam@gmail.com>

Sun, Mar 1, 2026 at 9:20 PM

Hi Renee and Stephanie,  
We think your plans look great and we approve them. Wishing you all the best with your upcoming project.  
Gloria & Joe Giralamo  
Sent from my iPhone

> On Mar 1, 2026, at 5:53 PM, Renee Lanam <reneelanam@gmail.com> wrote:

>  
>

[Quoted text hidden]

> <02 13 2026 Rapp - Zoning Sheets.pdf>



Renee Lanam &lt;reneelanam@gmail.com&gt;

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**addition**

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**Dave Kastning** <dkastning2002@yahoo.com>  
To: Renee Lanam <reneelanam@gmail.com>

Thu, Feb 26, 2026 at 1:47 PM

Hi Renee,

Can't believe those little kids I saw playing in your backyard are headed off to college. Wow.

As far as your plans, I'm sure whatever you decide on will be an asset to the lakefront and LVC. I think it was definitely the right thing to do reviewing plans with your neighbors - that will make the process so much easier for you. Plus, you may have to go in front of the Village Board regarding the variance - and you definitely want your neighbors to participate in-person in that meeting. Which brings up the question...what do Craig (mostly) and the Russell's think about it?

No issues from the board, as long as you comply with village code - thankfully there is nothing in our bylaws or rules and regs. Since I've been on the board, we've had five tear-downs with virtually no problems. Appreciate the detailed overview though, as I'm sure we will be asked. Ok to share with the board?

Dave

[Quoted text hidden]



Renee Lanam <reneelanam@gmail.com>

**Renovations to Lake House**

**Jeanne Tromp** <jeannetromp@hotmail.com>

Fri, Feb 27, 2026 at 8:42 AM

To: Stephanie Rapp <stephrapp1@gmail.com>, Renee Lanam <reneelanam@gmail.com>

Hi Stephanie and Renee -

Thank you for taking the time to walk me through the renovation plans for your lake house. Williams Bay will be such a nice place to live full time, and I understand why you want to renovate the house to support your dreams. With such a large family, it will be difficult to remain in the existing home.

I think your plans are beautiful and remain in line with the other homes on the Williams Bay lake front. I do not think the renovations will negatively impact 24 Upper Loch Vista, and I am fully supportive of the renovations.

Good luck, and I hope everything goes according to plan.

Jeanne Tromp

Sent from my iPhone

WLV 00030



Renee Lanam <reneelanam@gmail.com>

lake house addition

Michael T. O'Connor <moconnor@kdlegal.com>  
To: Renee Lanam <reneelanam@gmail.com>

Wed, Mar 4, 2026 at 2:48 PM

Renee:

Thanks for letting us know what your plans are and providing elevation drawings. We think your plans will have a minimal impact on our view of the lake and for that reason, we don't have any objections to your plans.

Good luck with the variance application.

**Michael T. O'Connor**  
Partner  
Krieg DeVault LLP  
200 S. Wacker Drive Suite 600 | Chicago, IL 60606  
Phone: 312-651-2424 | Mobile: 312-208-1107

moconnor@kdlegal.com | www.kriegdevault.com



Krieg DeVault expanded its Indiana footprint on January 1, 2026 by combining with the Rothberg Law Firm of Fort Wayne. Learn more here.

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**From:** Renee Lanam <reneelanam@gmail.com>  
**Sent:** Tuesday, March 3, 2026 12:44 PM  
**To:** Michael T. O'Connor <moconnor@kdlegal.com>  
**Subject:** [EXTERNAL] lake house addition

I hope you are well and the new year has started off well. We are certainly ready for some warmer weather. Your lake house is looking great--can't believe how fast it is going up.

[Quoted text hidden]

WLV 00029



Renee Lanam <reneelanam@gmail.com>

**You around?**

**Kristine Porritt** <kwporritt@me.com>  
To: Renee Lanam <reneelanam@gmail.com>

Sat, Feb 14, 2026 at 9:02 AM

Hi Renee,  
Thanks for checking in with us. Your project will impact our view which is a bummer. But since you if you are within the city restrictions you have our approval. We appreciate the communication and wish you best of luck on your project.

Kris and John  
[Quoted text hidden]

# STUART · TOKARZ · SOBERALSKI · POLLARD LLC

MILWAUKEE OFFICE: 414-800-4117 | 309 N. WATER STREET SUITE 250

DELAVAN OFFICE: 262-728-9196 | 617 E. WALWORTH AVENUE

March 9, 2026

*via email: zoning@vi.williamsbay.wi.gov only*

## **VILLAGE OF WILLIAMS BAY**

### **Zoning Board of Appeals**

c/o Allison Schwark, Zoning Administrator  
250 Williams St  
Williams Bay, WI 53191

Re: Supplemental Letter to Variance Request  
22 Upper Loch Vista Drive (Tax Key No. WLV 00027)

Dear Zoning Board of Appeals Members:

Our office represents the owners of 22 Upper Loch Vista Drive (Tax Key No. WLV 00027) (“Owners”) in the Village of Williams Bay. The purpose of this letter is to supplement and support the application submitted herewith.

### **Variance Request**

The Owners request a variance to zoning code section § 390-0212, SF-6 Village Residential District, to allow for a second story and attic addition to an existing legal nonconforming residence entirely within the existing first floor footprint and within the required interior side yard setback of 10 feet, rear yard setback of 30 feet, and shore yard setback of 150 feet.

### **Background**

The original house on this lot was built in 1906. It has been remodeled and partially torn down over the past 100+ years, but a portion of the original home has always remained in place. The efforts to preserve the historic value of the property has resulted in, among other things, part of the foundation still being on cinder block and the HVAC system/routes throughout the house being a maze of inefficiency. While tearing down and reconstructing lakefront homes is a growing trend, the Owners believe preserving the character of the home is more important than the efficiencies of new construction. They further anticipate that a remodel will be less disruptive to the neighboring community and will help maintain the look and feel of the Loch Vista Club shoreline.

In October of 2023, the applicants submitted plans to begin a remodel and expand their second floor, which is only partially built out. They stayed within the existing footprint and limited the height to 35’. These plans were approved by Bonnie Schaeffer and signed off on by Dave Fliess on November 8, 2023, without requiring a variance application. For several reasons, construction was unable to commence on the project. While the variance application includes modifications to the original approved plans, the request is still limited solely to a vertical expansion of a legal nonconforming structure’s existing footprint

## Unique Lot

The subject lot was originally created in the early 1900s when the Loch Vista Club Subdivision was formed. The lot is an irregular L-shape abutting Upper Loch Vista Drive, an unnamed drive, and Geneva Lake, which creates a nearly one-of-a-kind combination of both double frontage and corner lot setbacks. Due to the unique lot configuration, a more restrictive rear yard setback (30') is required on the southern lot line, instead of a less restrictive interior yard setback (10'), which would be typical on a standard lake front lot. The lot is also relatively shallow for a lake front lot in the Village of Williams Bay at approximately 180' on the south lot line, which further increases the burden of the 150' setback from Geneva Lake. The literal application of the current setback severs and restricts the lot to two practically unbuildable 430 sq. ft. and 270 sq. ft. buildable footprints. To put this in perspective, a lot with standard side yard setbacks at 10 feet and front and rear yard setbacks at 30 feet in the SF-6 District with a similar overall acreage would have a building footprint of approximately 6,000 sq. ft.

The lot also contains a significant amount of slope descending between 15-20 feet across the lot down to Geneva Lake; and there are several mature trees on the southern neighboring property near the southernmost property line creating a potential for damage to underlying roots should grading of the slope take place in that area.

## Variance Requirements

The Village of Williams Bay Ordinance § 390-1215 allows for a variation from setback requirements when owing to special factors literal enforcement of the setbacks results in practical difficulty or unnecessary hardship, so that the spirit of the ordinances is observed, public safety and welfare is secured, and substantial justice is done.

The setback ordinances were established based on the legislature's delegation to local zoning boards substantial discretion to grant variances "where the literal application of zoning regulations would result in unnecessary hardship not justified by the underlying purposes of the ordinance in question." *Id.*, ¶19; Wis. Stat. § 62.23(7)(e)7.b. In the context of an area variance, an "unnecessary hardship" exists where "compliance with the strict letter of the restrictions governing area setbacks ... would unreasonably prevent the owner from using the property for a permitted purpose or would render conformity with such restrictions unnecessarily burdensome." *State ex rel. Ziervogel*, 269 Wis. 2d 549, ¶¶24, 33. In determining whether this standard is met, the Board considers the purpose of the zoning restriction, its effect on the property, and the effect of the proposed variance on the neighborhood and larger public interest. *Id.*, ¶33.

The combination of the 150' shore yard setback, 30' rear yard (effectively in a side yard), and 10' interior side yard, if literally enforced, creates practical difficulty and unnecessary hardship for the owners of the property because they are unable to remodel their existing residence to meet current residential standards.

## 150' Shore Yard Setback

The general purpose of setback ordinances is to regulate building placement to protect safety, maintain neighborhood character, prevent conflicts between properties, and preserve environmental resources.

In particular, the purpose of the 150' shore yard setback is to protect the shoreline and

maintain uniformity along the shores of Geneva Lake. In *Waushara County*, the Wisconsin Supreme Court highlighted the fact that because the variance in question was not seeking to move the residence closer to the lake, then it was not implicating shoreland zoning concerns. *State v. Waushara Cnty. Bd. of Adjustment*, 2004 WI 56, ¶ 35, 271 Wis. 2d 547, 573, 679 N.W.2d 514, 527.

The 150' Shore Yard Setback is much larger than typical on Geneva Lake. Upon information and belief, in 2011 the Village of Williams Bay increased its shore yard setback requirements from 75' to 150'. For reference, the prevailing standard around Geneva Lake remains 75', or as low as 35' based on an existing pattern of development.<sup>1</sup>

### **Comparable Regulations Allowing Vertical Expansion**

2015 Wis Act 55 substantially reduced the restrictions on nonconforming structures with the enactment of Wis. Stat. § 59.692 (1k)(a)2. In particular, the Wisconsin Legislature required counties to allow for vertical expansions of non-conforming structures in lake yard setbacks, provided (1) the footprint of the non-conforming structure was not expanded, (2) the non-conforming structure was more than 75' from the shoreline and (3) the vertical expansion did not exceed the 35' height restriction.

The City of Lake Geneva ordinances similarly allow for vertical expansions above existing nonconforming portions of a building within the maximum permitted height requirement with the approval of a conditional use permit.<sup>2</sup>

While Williams Bay is not bound by these regulations, this legislation does provide some guidance on how to address shallow lots that are unbuildable if strict adherence to a shore yard setback is applied. Allowing applicants to build vertically, while staying in the same footprint and going no closer to the lake is consistent with state legislation and a reasonable solution to the hardship imposed when the 150' lake yard setback was adopted in 2011.

### **APPLICATION OF VARIANCE FACTORS:**

#### **(a) Exceptional Property Circumstances**

**[1] The hardship or difficulty shall be peculiar to the subject property and different from that of other properties, and not one that affects all properties similarly. Such a hardship or difficulty shall have arisen because of the [a] unusual shape of the original acreage parcel; [b] unusual topography or elevation; or [c] because the property was created before the passage of the current, applicable zoning regulations and is not economically suitable for an allowed use or will not accommodate a structure of reasonable design for an allowed use if all area, yard, green space, and setback requirements are observed.**

The hardship is unique to the subject property wherein (a) the lot is irregularly L-shaped and shallow, creating a one-of-a-kind double frontage and corner lot, and inadvertently creates more burdensome 30' front/street and rear yard setback requirements on either side of the residence, than the 10' interior setbacks, and the shallow lot puts nearly the entire

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<sup>1</sup> See Wisconsin Admin. Code NR 115(1)(b)1; Walworth County Ordinances Sec. 74-174B; Village of Fontana Ordinances (d)(3) Sec. 18-110.

<sup>2</sup> See City of Lake Geneva Ordinance Sec. 98-408(7)

buildable space within the 150' shore yard setback; (b) the topography of the lot includes an approximate 15-20 foot change in slope and several mature trees are nearby to the southern lot line; and (c) since the lot and residence were created in the early 1900's, the property is now frozen in time without an opportunity to be remodeled in a reasonable, modern design, and current building standards.

**[2] Loss of profit or pecuniary hardship shall not, in and of itself, be grounds for a variance.**

While the strict application of the setbacks to the property would certainly lead to loss of profit in a future sale or other pecuniary hardship, it is clearly not the only grounds for a variance, as further identified herein.

**[3] Self-imposed hardship shall not be grounds for a variance. Reductions resulting from the sale of portions of a property reducing the remainder of said property below buildable size or cutting off existing access to a public right-of-way or deed restrictions imposed by the owner's predecessor in title are considered to be such self-imposed hardships.**

There are no self-imposed hardships present. The unique property and increased setback requirements on the 1906 residence created the relevant hardship, not any sale of portions of the lot reducing its size, or cutting off existing access, or deed restrictions.

A request to vertically expand a legal nonconforming structure into the envelope while maintaining the existing footprint is not *de facto* a self-imposed hardship. The Wisconsin Court of Appeals rejected arguments that expansions into setbacks constitutes a self-created hardship and upheld a Village of Williams Bay Zoning Board of Appeals approval of variances to the side yard and street yard ordinances. *See Duda v. Vill. of Williams Bay Zoning Bd. of Appeals*, No. 2019AP1745, 2021 WL 8567890, at \*2 (Wis. Ct. App. Oct. 13, 2021) (unpublished).

If municipalities deny variance requests as self-created hardships automatically because the applicant requests an expansion into a setback, then the variance ordinance itself has been effectively nullified. Nearly every variance request includes an encroachment into a setback or height restriction. The purpose of variance ordinances is to give municipalities an opportunity to address unique circumstances without the need to rewrite the entire zoning ordinances. While self-created hardships are a factor, the board has flexibility to find that an unnecessary hardship exists when compliance with the strict letter of restrictions governing setbacks renders conformity with such restrictions unnecessarily burdensome as it relates to the purpose of the zoning restriction itself. *Id.*

**[4] Violations by, or variances granted to, neighboring properties shall not justify a variance.**

There are no violations or previously granted variances being referenced in support of this request, nor should prior denials of related variances be applicable.

**[5] The alleged hardship shall not be one that would have existed in the absence of a zoning ordinance. (For example, if a lot were unbuildable because of topography in the absence of any or all setback requirements.)**

The hardship exists due to the unique property configuration and multiple setback requirements. The lot is not unbuildable due to topography or the absence of the setback requirements.

**(b) In what manner do the factors identified in Subsection D(2)(a) above prohibit the development of the subject property in a manner similar to that of other properties under the same zoning district? The response to this question shall clearly indicate how the requested variance is essential to make the subject property developable so that property rights enjoyed by the owners of similar properties can be enjoyed by the owners of the subject property.**

The literal application of the interior side yard, street yard, rear yard, and shore yard setbacks on the shallow flag lot practically eliminates a buildable footprint on the lot. As shown in Addendum A, the buildable footprint of a standard lot within the SF-6 Zoning district with at 0.31 acres is nearly 6,000 square feet, wherein the subject lot is limited to a severed buildable foot prints of 430 sq. ft. and 270 sq. ft. In 2004, the Wisconsin Supreme Court clarified the law on area variances by explicitly denying the “no reasonable use” standard and adopting the “unnecessary hardship” test, which does not require a lot to be unbuildable but rather finds “unnecessary hardship” exists where literal application of the setback ordinance would unreasonably prevent the owner from using the property for a permitted purpose or would render conformity with such restrictions unnecessarily burdensome.

**(c) Would the granting of the proposed variance be of substantial detriment to adjacent properties? The response to this question shall clearly indicate how the proposed variance will have no substantial impact on adjacent properties.**

As shown by the support of 13 neighboring property owners, the approval will have no substantial impact on adjacent properties. Importantly, the requested vertical expansion is not moving the existing residence any closer to Geneva Lake. The proposed variance will have no substantial impact on adjacent properties, as the home is staying in the same footprint and the vertical expansion does not meaningfully impact the views of the adjacent homes. Because the applicants’ home sits parallel or behind the homes on both sides, the expansion will not interfere with the neighbors view of the lake. With respect to the homes behind the applicants’ home, because of trees and the fact that the second floor is already partially built out, their view of the lake will not be changed in any meaningful way.

**(d) Would the granting of the proposed variance as depicted on the required site plan [see Subsection C(3) above] result in a substantial or undue adverse impact on the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the intent, provisions, and policies of this chapter, the Comprehensive Plan, or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the Village or other governmental agency having jurisdiction to guide growth and development? The response to this question shall clearly indicate how the proposed variance will have no substantial impact on such long-range planning matters.**

Approval of the variance request will not have a substantial impact on long range planning matters. The granting of the variance will allow for remodel instead of tear down and rebuild preserving the character of the neighborhood. The residence is only being expanded vertically within the existing footprint and importantly is not being moved any closer to Geneva Lake. There are no changes to the traffic factors, parking, public improvements, public property or rights of way, or other matters affecting the public. The neighboring community is in favor of granting the variance as shown by the many letters of support, especially concerning maintaining the existing placement of homes in relation to the shoreline.

**(e) Have the factors that present the reason for the proposed variance been created by an act of the applicant or previous property owner or their agent (for example: previous development decisions such as building placement, floor plan, or orientation, lot pattern, or grading) after the effective date of this chapter? The response to this question shall clearly indicate that such factors existed prior to the effective date of this chapter and were not created by action of the applicant, a previous property owner, or their agent.**

The unique property and increased setback requirements on the 1906 residence created the relevant hardship, not any previous development decisions such as building placement, floor plan, orientation, lot pattern or grading, after the effective date of the chapter.

**(f) The Zoning Administrator may also evaluate the application to determine whether the requested variance is in harmony with the recommendations of the Village of Williams Bay's Comprehensive Plan.**

The requested variance is in harmony with the recommendations of the Village of Williams Bay's Comprehensive Plan, wherein the future land use of the subject property is single-family residential (sewered) recommending SF-6 zoning. SF-6 provides for moderate-density, single-family residential developments, with a target of approximately 6 dwelling units per acre. The use of the property shall continue to be single family residential and shall not increase the density.

We look forward to presenting the variance request at the next meeting of the Village of Williams Bay Zoning Board of Appeals.

Thank you.

STUART, TOKARZ, SOBERALSKI  
& POLLARD LLC

By: electronically signed by Charles W. Pollard  
Charles W. Pollard  
cpollard@stsplaw.com

CWP/ah  
Enc.  
cc: Client (*via email only*)



# VILLAGE OF WILLIAMS BAY

## AGREEMENT TO REIMBURSE FOR PROFESSIONAL SERVICES

As a prerequisite for processing the application of Applicant, this Agreement must be signed and submitted by Applicant and, if different than Applicant, the Owner of the subject property at time of application. The terms of this Agreement shall be binding upon both the Applicant and the Owner.

1. The Village of Williams Bay (Village) shall authorize its professional staff, including but not limited to, the Village engineer, the Village attorney, the Village building inspector/zoning administrator, and any other professional the Village deems it necessary to retain, as well as its office staff and any other employee of the Village whose participation is deemed necessary by the Village, to assist the Village in reviewing the application and related documents submitted by Applicant. The type and amount of services provided shall be those deemed necessary and appropriate by the Village, its professional staff and office staff.

2. In consideration of the Village authorizing its professional staff, office staff and other personnel to perform the services set forth in paragraph 1, the Applicant agrees to reimburse the Village for engineering, legal, accounting or other professional expenses incurred by the Village for services performed by individuals in connection with the work described in paragraph 1 above. Further, the Applicant agrees to reimburse the Village for any extraordinary expenses incurred by the Village for services provided by its office staff in connection with the work identified in paragraph 1 above, as well as for any other expenses incurred by the Village in connection with the work identified in paragraph 1 above including, not limited to, inspection fees, postage, copies, office expense, mileage and publication expense.

3. The Village agrees to invoice the Applicant on a monthly basis for any costs which the Village incurs as described in paragraphs 1 and 2 above. Payment of each invoice by the Applicant shall be within 30 days of receipt of same. In the event timely payment of an invoice is not received by the Village, the amount owed on the invoice shall be applied against the property which is the subject of the application, and collected as a special charge pursuant to Wis. Stats. Sec. 66.0627.

22 Upper Loch Vista

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**Project Name**

22 Upper Loch Vista Drive, Williams Bay, WI 53191

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**Project Address**

WLV 00027

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**Parcel Number**

Renee Lanam, 22 Upper Loch Vista Drive, Williams Bay, WI 53191


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**Send Invoices To (Name and Address)**

**RESPONSIBLE PARTY INFORMATION**


**APPLICANT INFORMATION:**

Renee Lanam \_\_\_\_\_ 22 Upper Loch Vista Drive, Williams Bay, WI 53191  
Applicant Name \_\_\_\_\_ Mailing Address (if different than property address)

 \_\_\_\_\_ 03 / 09 / 2026  
Applicant Signature and Date

**OWNER INFORMATION (IF DIFFERENT THAN APPLICANT):**

Renee Lanam \_\_\_\_\_ 22 Upper Loch Vista Drive, Williams Bay, WI 53191  
Owner Name \_\_\_\_\_ Mailing Address (if different than property address)

 \_\_\_\_\_ 03 / 09 / 2026  
Owner Signature and Date

**VILLAGE OF WILLIAMS BAY STAFF ONLY**

\_\_\_\_\_  
Building Inspector/Zoning Administrator

\_\_\_\_\_  
Village Administrator

Date \_\_\_\_\_

Date \_\_\_\_\_

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VILLAGE OF WILLIAMS BAY  
*Office of Zoning Administrator*

Evaluation Report  
Zoning Board of Appeals Meeting  
April 21, 2026

April 14, 2026

**APPLICANT(S):** Renee Lanam (Owner)

**TAX KEY NUMBER:** WLW 00027

**STREET ADDRESS:** 22 Upper Loch Vista Drive, Williams Bay, WI 53191

The applicant requests a variance to zoning code section 390-0212, SF-6 Village Residential District, to allow for a second story and attic addition on a portion of the home that already exists within the required side yard setback of 10 feet, rear yard setback of 30 feet, and shore yard setback of 150 feet.

Per Section 390-0212(L) a 30 feet rear yard setback is required for SF-6 Village Residential District.

Per Section 390-0212(L) a 10 feet side yard setback is required for SF-6 Village Residential District.

Per Section 390-0212(L) a 150 feet shore yard setback is required for SF-6 Village Residential District.



**The Zoning Board of Appeals shall have the following powers:**

- (a) To hear and decide appeals when it is alleged there is error in any order, requirement, decision, or determination made by the Zoning Administrator or Plan Commission.
- (b) To hear and grant variances as will not be contrary to the public interest, when, owing to special conditions, a literal enforcement will result in unnecessary hardship, so that the spirit and purposes of this chapter shall be observed and the public safety, welfare, and justice secured. Use variances shall not be granted.
- (c) To hear and decide applications for interpretations of the zoning regulations and the boundaries of the zoning districts after the Plan Commission has made a review and recommendation.
- (d) To hear and grant applications for substitution of more restrictive nonconforming uses for existing nonconforming uses, provided no structural alterations are to be made and the Plan Commission has made a review and recommendation. Whenever the Board permits such a substitution, the use may not thereafter be changed without application.
- (e) To hear and decide appeals where it is alleged there is error in any order, requirement, decision, or determination made by an administrative official in the enforcement or administration of the Shoreland-Wetland Overlay Zoning District provisions.
  - The Board may reverse, affirm wholly, or partly modify the requirements appealed from, and may issue or direct the issue of a permit.
  - Conditions may be placed upon any building permit ordered or authorized by the Zoning Board of Appeals.
  - The Board may request assistance from other Village officers, departments, commissions, and boards.
  - The Chairperson may administer oaths and compel the attendance of witnesses.

The Zoning Administrator shall review the application and evaluate and comment on the written justification for the proposed variance provided in the application per the following:

(a) **What exceptional or extraordinary circumstances or special factors are present that apply only to the subject property?** The response to this question shall clearly indicate how the subject property contains factors that are not present on other properties in the same zoning district, specifically the following:

[1] The hardship or difficulty shall be peculiar to the subject property and different from that of other properties, and not one that affects all properties similarly. Such a hardship or difficulty shall have arisen because of the unusual shape of the original acreage parcel; unusual topography or elevation; or because the property was created before the passage of the current, applicable zoning regulations and is not economically suitable for an allowed use or will not accommodate a structure of reasonable design for an allowed use if all area, yard, green space, and setback requirements are observed.

**A variance is only justified when the hardship is unique and specific to the property, caused by unusual physical conditions or legal circumstances predating current zoning. General hardships that affect all properties equally do not meet this standard and cannot serve as a basis for a variance.**

[2] Loss of profit or pecuniary hardship shall not, in and of itself, be grounds for a variance.

**The Zoning Board of Appeals shall avoid granting variances just to improve profitability or reduce cost. A variance is not a tool for maximizing financial gain, it's a remedy for unique, property-specific burdens that prevent reasonable use regardless of economic considerations.**

[3] Self-imposed hardship shall not be grounds for a variance. Reductions resulting from the sale of portions of a property reducing the remainder of said property below buildable size or cutting off existing access to a public right-of-way or deed restrictions imposed by the owner's predecessor in title are considered to be such self-imposed hardships.

**The hardship is self-imposed because the applicant seeks to expand the structure beyond what is allowed by the ordinance. Reasonable use of the home exists without additional expansion, and the proposed addition is based on personal circumstances, not a condition created by the zoning regulations. While the existing structure may encroach into the required side, rear, and shore yard setbacks, the applicant is not seeking relief to maintain the structure as it currently exists, but rather to construct a second-story and attic addition within those setback areas.**

**The need for a variance arises solely from the applicant's desire to expand the structure in a manner that does not comply with the zoning ordinance. The applicant has the ability to design the addition in a way that conforms to required setbacks or to forgo the expansion altogether.**

**Because the zoning constraints were in place prior to the proposal and the requested hardship results from the applicant's voluntary design and construction choices, it is considered self-imposed and does not meet the standards for granting a variance.**

[4] Violations by, or variances granted to, neighboring properties shall not justify a variance.

**This is not applicable to this request as every variance request shall stand on its own merits. No previous variances for other properties should be considered.**

[5] The alleged hardship shall not be one that would have existed in the absence of a zoning ordinance. (For example, if a lot were unbuildable because of topography in the absence of any or all setback requirements.)

**This point explains that the hardship described must be caused by the zoning ordinance itself, not because of other circumstances.**

- **The property is already buildable and has been developed.**
- **The desire to expand is not due to a zoning-created hardship, but rather a personal preference or desire.**

**The alleged hardship would exist even in the absence of zoning ordinance requirements. The limitations described are not solely the result of the SF-6 Village Residential District setback standards, but rather stem from the existing placement and configuration of the residence on the lot and the applicant's proposed expansion of that structure.**

(b) In what manner do the factors identified in Subsection D(2)(a) above prohibit the development of the subject property in a manner similar to that of other properties under the same zoning district? The response to this question shall clearly indicate how the requested variance is essential to make the subject property developable so that property rights enjoyed by the owners of similar properties can be enjoyed by the owners of the subject property.

**The factors identified in Subsection D(2)(a) do not prohibit the development of the subject property in a manner similar to other properties within the SF-6 Village Residential District. The property is already developed with a residential structure, demonstrating that it is capable of lawful use under the existing zoning regulations.**

**The required side, rear, and shore yard setbacks apply uniformly to all properties within the district and are intended to ensure consistent development patterns. The subject property retains the ability to be used, maintained, and improved in a manner consistent with other similarly zoned properties without the need for a variance.**

**The requested variance is not essential to render the property developable. Rather, it is sought to facilitate a specific design choice, a second-story and attic addition over an existing structure that encroaches into required setbacks. Alternative compliant development options remain available, including redevelopment within the permitted building envelope.**

**Because the property retains reasonable use and development potential consistent with other properties in the district without deviation from the zoning standards, the criteria for demonstrating that a variance is essential have not been met.**

(c) Would the granting of the proposed variance be of substantial detriment to adjacent properties? The response to this question shall clearly indicate how the proposed variance will have no substantial impact on adjacent properties.

**The granting of the proposed variance would be a substantial detriment to adjacent properties. The request would allow for the expansion of a structure that already encroaches into required side, rear, and shore yard setbacks, resulting in increased building mass and intensity of development within areas intended to provide separation, light, air, privacy, and shoreline protection.**

**Allowing additional vertical development within these setback areas would increase perceived bulk and building height impacts relative to neighboring properties and could reduce visual and spatial buffering that the zoning ordinance is designed to maintain. This is particularly significant given the proximity to the shore yard setback, where development controls are intended to protect adjacent property interests and preserve neighborhood character.**

**Approval of the variance could also set a precedent for similar encroachments, potentially undermining the uniform application of setback standards within the SF-6 Village Residential District.**

(d) Would the granting of the proposed variance as depicted on the required site plan result in a substantial or undue adverse impact on the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the intent, provisions, and policies of this chapter, the Comprehensive Plan, or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the Village or other governmental agency having jurisdiction to guide growth and development? The response to this question shall clearly indicate how the proposed variance will have no substantial impact on such long-range planning matters.

**The granting of the proposed variance would result in a substantial and undue adverse impact on the character of the neighborhood and on the intent of applicable long-range planning policies. The request would permit expansion of a structure already located within required side, rear, and shore yard setbacks, thereby increasing building mass and intensity of development in areas specifically intended to remain as open buffers between structures and sensitive shoreline resources.**

**Approval of the variance would be inconsistent with the established development pattern of the SF-6 Village Residential District, which relies on uniform setback standards to preserve neighborhood character, maintain visual and spatial separation between structures, and protect environmental and shoreline-related resources. Allowing additional encroachment would erode these planned separations and could contribute to incremental intensification that is not contemplated by the zoning ordinance or Comprehensive Plan.**

**The proposal would not have no substantial impact on planning or environmental considerations, but would instead result in adverse effects on neighborhood character and the broader goals of orderly development and resource protection.**

(e) Have the factors that present the reason for the proposed variance been created by an act of the applicant or previous property owner or their agent (for example: previous development decisions such as building placement, floor plan, or orientation, lot pattern, or grading) after the effective date of this chapter? The response to this question shall clearly indicate that such factors existed prior to the effective date of this chapter and were not created by action of the applicant, a previous property owner, or their agent.

**The need for the requested variance arises not from pre-existing, unavoidable site conditions, but from the manner in which the property was previously developed and the applicant's current proposal to further expand the structure in a manner that extends nonconformity. These conditions are therefore not inherent to the property independent of human action, but are the result of discretionary development choices.**

**The factors creating the need for relief were generated by prior and/or current actions associated with the property and do not satisfy the requirement that such conditions existed prior to the effective date of the ordinance and independent of the applicant's control.**

(f) The Zoning Administrator may also evaluate the application to determine whether the requested variance is in harmony with the recommendations of the Village of Williams Bay's Comprehensive Plan.

**The comprehensive plan shows the land use designation as single family, which is consistent with the current zoning designation of the property (SF-6). The requested variance is not conflicting with the guiding principles of the comprehensive plan. The Comprehensive Plan generally promotes orderly and consistent development patterns, protection of shoreline and environmentally sensitive areas, and maintenance of established residential neighborhood character through adherence to zoning standards, including setback requirements.**

**The requested variance would allow expansion of a structure further into required side, rear, and shore yard setbacks, increasing building mass within areas intended to provide open space buffers, preserve views, and protect shoreline resources. This type of deviation from established setback standards is inconsistent with the Plan's intent to ensure compatible development and to prevent incremental encroachment that could cumulatively degrade neighborhood and environmental quality.**

**The proposed variance does not align with the goals, objectives, and land use policies of the Village's Comprehensive Plan and therefore weighs against approval.**

Respectfully submitted,

Allison Schwark  
Zoning Administrator