



VILLAGE OF WILLIAMS BAY

250 Williams Street | PO Box 580 | Williams Bay | WI | 53191 | vi.williamsbay.wi.gov

Phone: 262-245-2700

NOTICE

VILLAGE BOARD OF TRUSTEES MEETING

MONDAY, MAY 5, 2025 AT 6:30 PM

Village Hall Council Room

250 Williams Street

Williams Bay, WI 53191

AGENDA

The following agenda items may be considered for Discussion, Consideration, or Action

I. Call to Order

II. Roll Call

III. Pledge of Allegiance

IV. Meeting Decorum

- A.** Meeting Decorum. *According to Robert's Rules of Order, meeting decorum means maintaining respectful and orderly behavior during a discussion, including addressing the chair to speak, staying relevant to the topic at hand, avoiding personal attacks, and generally adhering to courteous conduct while debating issues; essentially, ensuring that discussions are focused and civil, with only one person speaking at a time when recognized by the chair. Violators of meeting decorum will be excused from the meeting.*

V. Minutes

- A.** Village Board Meeting Minutes of April 21, 2025

VI. Presentation of accounts and petitions

- A.** Payroll ending 04-18-2025 in the amount of \$51,499.11
- B.** Accounts Payable Unpays dated 05-01-2025 in the amount of \$526,442.28
- C.** Accounts Payable Prepays
1. dated 04-22-2025 in the amount of \$3,808.00
 2. dated 4-25-2025 in the amount of \$15,540.31

VII. Plan Commission

- A.** RECONSIDERATION OF VILLAGE BOARD ACTION TAKEN ON APRIL 21, 2025
APPLICANT: Dancing Dudes, LLC (Owner), Attorney Christina Green (Agent)
TAX KEYS: WOP 00088
STREET ADDRESS: 77 N. Walworth Ave, Williams Bay, WI 53191
Applicant requests a recommendation to the Village Board for approval of revised awning signage. The applicant also requests approval for an architectural design alteration to remove the upper floor awnings.

VIII. Public Comments

- A. *Individual public comments will be limited to two (2) minutes maximum. If your comments align with other comments before you, please consider stating that you are in agreement with those comments. The public may speak on any item that is not included on this agenda as a "Public Hearing or Forum." Anyone who wishes to comment should identify himself or herself and provide his or her local address. Board members may discuss any matter raised by the public. However, the Board will refrain from extensive dialogue and should not take action on matters raised by the public during a public comment period. Referrals to committees or staff members might be made. Members may ask the commenter to clarify his or her remarks. The Board President or the presiding officer will maintain control of the meeting.*

IX. President's Remarks

- A. Arbor Day tree plantings
- B. Congratulations to all involved on a successful Truck-a-palooza
- C. Congratulations to WBBA and all involved on the Cinco de Mayo event
- D. Request to Schedule Joint Village of Fontana and Village of Williams Bay Board Meeting Re: EMS Services Agreement

X. Ordinances and Resolutions

- A. An Ordinance Rescinding Village Ordinance Chapter 281 Public Waters and Beaches Article I General Regulations 281-12 Re Commercial Use Launch Area.

XI. Committee Reports

A. Protective Services, Chair - Trustee Vlach

- 1. Original, Renewal, or Temporary Operator License Applications

XII. Public Comments

- A. *Individual public comments will be limited to two (2) minutes maximum. If your comments align with other comments before you, please consider stating that you are in agreement with those comments. The public may speak on any item that is not included on this agenda as a "Public Hearing or Forum." Anyone who wishes to comment should identify himself or herself and provide his or her local address. Board members may discuss any matter raised by the public. However, the Board will refrain from extensive dialogue and should not take action on matters raised by the public during a public comment period. Referrals to committees or staff members might be made. Members may ask the commenter to clarify his or her remarks. The Board President or the presiding officer will maintain control of the meeting.*

XIII. Other Items for Discussion, Consideration, or Action

- A. 50th Anniversary of the Williams Bay Fine Art Fest - Sandra Johnson
- B. Police Appreciation Proclamation
- C. Clerk's Week Proclamation
- D. Resolution Recognizing Harold Friestad as Chairman Emeritus of Kishwaukee Nature Conservancy
- E. Approval of Zoning Administration and Land Division Services Contract Between the Village of Williams Bay and Municipal Code Enforcement, LLC
- F. Recommendation of the Appointment of Municipal Code Enforcement, LLC as the Village Zoning Administrator for a One (1) Year Term.
- G. Recommendation of the Appointment of Halina Marra as a Citizen Member to the Parks and Memorial Advisory Committee for a Three (3) Year Term
- H. Consideration and Possible Action on Pier Permit for 254 Circle Pkwy

I. Consideration and Possible Action on Pier Permit for 100 Birch Walnut

XIV. Adjournment

Requests from persons with disabilities, who need assistance to participate in this meeting or hearing, should be made to the Village Clerk's office in advance so the appropriate accommodations can be made.

Posted: 05/02/2025 5:00 PM



VILLAGE OF WILLIAMS BAY

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Phone: 262-245-2700

UNOFFICIAL MINUTES VILLAGE BOARD 4/21/2025 MEETING MONDAY, APRIL 21, 2025 AT 6:30 PM VILLAGE HALL COUNCIL ROOM 250 WILLIAMS STREET WILLIAMS BAY, WI 53191

I. Call to Order

President Jaramillo called the meeting to order at 06:30pm.

II. Roll Call

Present: President Adam Jaramillo, Trustees George Vlach, Lowell Wright, Robert Umans, Steven Russell, Mary Bartholomew and Susan Franzen

Also Present: Administrator David Lothspeich, Police Chief Justin Timm, Village Engineer Doug Snyder, Treasurer Jennifer Wiese, Clerk Tina Kolls

III. Pledge of Allegiance

The Pledge of Allegiance was recited by all.

IV. Meeting Decorum

- A. Meeting Decorum. *According to Robert's Rules of Order, meeting decorum means maintaining respectful and orderly behavior during a discussion, including addressing the chair to speak, staying relevant to the topic at hand, avoiding personal attacks, and generally adhering to courteous conduct while debating issues; essentially, ensuring that discussions are focused and civil, with only one person speaking at a time when recognized by the chair. Violators of meeting decorum will be excused from the meeting.*

V. Minutes

- A. Village Board Meeting Minutes of April 7, 2025

The motion to approve the Village Board Meeting Minutes of April 7, 2025 as corrected was initiated by Trustee Wright and seconded by Trustee Vlach. Trustees Franzen, Bartholomew and Umans abstain. Motion carries.

VI. Presentation of accounts and petitions

- A. Payroll ending 04-04-2025 in the amount of \$53,166.88

The motion to approve the Payroll ending 04-04-2025 in the amount of \$53,166.88 was initiated by Trustee Wright and seconded by Trustee Vlach. Unanimously carried.

- B. Accounts Payable Prepays dated 04-10-2025 in the amount of \$17,003.80

The motion to approve the Accounts Payable Prepays dated 04-10-2025 in the amount of \$17,003.80 was initiated by Trustee Wright and seconded by Trustee Umans. Unanimously carried.

- C. Accounts Payable Unpays dated 04-16-2025 in the amount of \$231,118.03

The motion to approve the Accounts Payable Unpays dated 04-16-2025 in the amount of \$231,118.03 was initiated by

Trustee Wright and seconded by Trustee Umans. Unanimously carried.

D. Library Accounts Payable Prepays dated 04-15-2025 in the amount of \$1,755.19

The motion to approve the Library Accounts Payable Prepays dated 04-15-2025 in the amount of \$1,755.19 was initiated by Trustee Wright and seconded by Trustee Umans. Unanimously carried.

E. Monthly EFT Payments for March 2025 in the amount of \$138,395.97

The motion to approve the Monthly EFT Payments for March 2025 in the amount of \$138,395.97 was initiated by Trustee Wright and seconded by Trustee Umans. Unanimously carried.

F. February 2025 Financial Statement

The motion to accept the February 2025 Financial Statement was initiated by Trustee Wright and seconded by Trustee Umans. Unanimously carried.

G. 2025 Legal Fees

The 2025 Legal Fees were presented for information only.

VII. Plan Commission

A. APPLICANT: Dancing Dudes, LLC (Owner), Attorney Christina Green (Agent)

TAX KEYS: WOP 00088

STREET ADDRESS: 77 N. Walworth Ave, Williams Bay, WI 53191

Applicant requests a recommendation to the Village Board for approval of revised awning signage. The applicant also requests approval for an architectural design alteration to remove the upper floor awnings.

The motion to approve the Applicant requests for an architectural design alteration for awnings as shown on the original plan, window boxes as shown on the original plan, somehow shielding of the vent on the side of the building and accepting the door that was added was initiated by Trustee Russell and seconded by Trustee Wright. Unanimously carried.

B. APPLICANT: Dan Leahy (Owner), Michael Levitzke, Jr. (Agent)

TAX KEY: WA506300001

STREET ADDRESS: 178 Clover St, Williams Bay, WI 53191

Applicant requests a recommendation to the Village Board for a conditional use permit per Section 390-0809.D (2) *Fencing Standards*:

The project consists of 6' high semi-private aluminum and composite fencing located along the side lot lines and a 4'6" high gate with 5'6" high pillars located in the street yard.

The motion to Approve a conditional use permit per Section 390-0809.D (2) *Fencing Standards*: The project consists of 6' high semi-private aluminum and composite fencing located along the side lot lines and a 4'6" high gate with 5'6" high pillars located in the street yard was initiated by President Jaramillo and seconded by Trustee Wright.

Votes:

Yes: President Jaramillo, Trustees Vlach, Wright, Umans and Russell

No: Trustees Bartholomew and Franzen

Abstain: None

Result: Passed

C. APPLICANT: Yerkes Future Foundation (Owner)

TAX KEY: WA518500001

STREET ADDRESS: 373 W. Geneva St, Williams Bay, WI 53191

Applicant requests a recommendation to the Village Board for a temporary use permit for placement of a 40' x 60' tent between the end of April and end of October annually.

The motion to approve a temporary use permit for the placement of a 40' x 60' tent between the end of April and end of October annually was initiated by President Jaramillo and seconded by Trustee Franzen. Trustee Bartholomew abstained. Motion carries.

- D. APPLICANT:** Jack Pease, Super Mix, USA (Owner)
TAX KEY: WA505600002
STREET ADDRESS: South side of Park Place between Constance Blvd. and Dartmouth Rd., Williams Bay, WI 53191
Applicant requests a recommendation to the Village Board for approval of a Certified Survey Map per Section 375.0306 "Minor Land Division Procedures" to divide the existing 2.87 acre parcel into three parcels of nearly 1 acre each.

The motion to approve the Certified Survey Map per Section 375.0306 "Minor Land Division Procedures" to divide the existing 2.87-acre parcel into three parcels of nearly 1 acre each was initiated by President Jaramillo and seconded by Trustee Umans. Unanimously carried.

VIII. Joint Extraterritorial Zoning Committee: pursuant to section 18.171F(A)

- A. APPLICANTS:** Inns of Geneva National, LLC (Owner), Garth Chambers, Paloma Geneva National (Applicant)
TAX KEY: JGN6000001
STREET ADDRESS: 1091 Hidden Cottage Circle, Town of Geneva, Walworth County, Wisconsin
The applicant requests an amendment to a Conditional Use Permit per 390.1714, *Conditional Use Permit* and 390.1703.V, B-5, *ETZ Planned Commercial-Recreation Business District* to change one of the buildings containing 16 sleeping units to four (4) cottage-style buildings containing 16 sleeping units (each cottage has 4 bedrooms).

The motion to approve an amendment to a Conditional Use Permit per 390.1714, *Conditional Use Permit* and 390.1703.V, B-5, *ETZ Planned Commercial-Recreation Business District* to change one of the buildings containing 16 sleeping units to four (4) cottage-style buildings containing 16 sleeping units (each cottage has 4 bedrooms) was initiated by President Jaramillo and seconded by Trustee Bartholomew. Unanimously carried.

IX. Public Comments

- A. Public Comments Responses - Responses to Public Comments from the previous Village Board Meeting are included in the Meeting Packet Materials Under this Agenda Item**
- B. Public Comments.** *Individual public comments will be limited to two (2) minutes maximum. If your comments align with other comments before you, please consider stating that you are in agreement with those comments. The public may speak on any item that is not included on this agenda as a "Public Hearing or Forum." Anyone who wishes to comment should identify himself or herself and provide his or her local address. Board members may discuss any matter raised by the public. However, the Board will refrain from extensive dialogue and should not take action on matters raised by the public during a public comment period. Referrals to committees or staff members might be made. Members may ask the commenter to clarify his or her remarks. The Board President or the presiding officer will maintain control of the meeting.*

Pam Russell, 24 Lower Loch Vista, spoke regarding the awnings on 77 N. Walworth Ave building
Annaliesa Prohuska, 109 Clover St, spoke regarding fencing ordinance
Diane Buckle, 561 Free Church, spoke regarding the awnings on 77 N. Walworth Ave building
Connie Gluth, 95 Lackey Dr, spoke regarding the crosswalk on Frost Drive

X. President's Remarks

- A. Acknowledge Municipal Judge Don Robison Service to the Village.**

President Jaramillo acknowledged Municipal Judge Don Robison for his service to the Village.

- B. Acknowledge Lake Geneva Regional News Reporter Eric Johnson Service to the Village.**

President Jaramillo acknowledged former Lake Geneva Regional News Reporter Eric Johnson for his service to the Village.

XI. Ordinances and Resolutions

- A. Resolution R-28-25 Approving the Developer Agreement between the Village of Williams Bay and Jack**

Pease. Super Mix, USA (Owner)

TAX KEY: WA505600002

STREET ADDRESS: South side of Park Place between Constance Blvd. and Dartmouth Rd., Williams Bay, WI 53191

Developers Agreement for a Certified Survey Map (CSM) dividing the existing 2.87 acre parcel into three parcels of nearly 1 acre each.

The motion to approve resolution R-28-25 Approving the Developer Agreement between the Village of Williams Bay and Jack Pease. Super Mix, USA (Owner)

TAX KEY: WA505600002 STREET ADDRESS: South side of Park Place between Constance Blvd. and Dartmouth Rd., Williams Bay, WI 53191

Developers Agreement for a Certified Survey Map (CSM) dividing the existing 2.87 acre parcel into three parcels of nearly 1 acre each as corrected was initiated by Trustee Vlach and seconded by Trustee Wright. Unanimously carried.

B. Resolution R-29-25 Approving of Contract for Construction of Public Works Improvements Related to the Topography The Preserve Development

The motion to approve resolution R-29-25 Approving of Contract for Construction of Public Works Improvements Related to the Topography The Preserve Development was initiated by Trustee Franzen and seconded by Trustee Vlach. Unanimously carried.

XII. Committee Reports

A. Protective Services, Chair - Trustee Vlach

1. Original, Renewal, or Temporary Operator License Applications

The motion to approve the Original, Renewal, or Temporary Operator License Applications was initiated by Trustee Vlach and seconded by Trustee Umans. Unanimously carried.

2. Resolution R-30-25 Granting Temporary Class "B" and "Class B" Retailer's License for Williams Bay Business Association for the Cinco De Mayo Event May 3 & 4, 2025

The motion to approve resolution R-30-25 Granting Temporary Class "B" and "Class B" Retailer's License for Williams Bay Business Association for the Cinco De Mayo Event May 3, 2025 from 12-6 was made by Committee, no second required. Unanimously carried.

3. Discussion and Possible Action on a Class B Beer and Class B Liquor License Application for Topography Beverage Company LLC

The motion to approve a Class B Beer and Class B Liquor License Application for Topography Beverage Company LLC conditioned upon the sale occurs, the current holder surrenders the license and a final inspection is completed by the Williams Bay Police Department regarding the fencing was initiated by Trustee Vlach and seconded by Trustee Franzen. Unanimously carried.

B. Parks & Lakefront, Chair - Trustee Russell

1. Discussion and Possible Action on a Cost Estimate for Replacement of Asphalt at the Williams Bay Launch

This item was information only.

XIII. Public Comments

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There were no public comments.

XIV. Other Items for Discussion, Consideration, or Action

A. Municipal Treasurers Appreciation Week Proclamation

President Jaramillo read the Municipal Treasurer's Appreciation Week Proclamation.

B. Arbor Day Proclamation

President Jaramillo read the Arbor Day Proclamation.

C. Village Clerk receipt of appeal from the affected party requesting waiver of Chapter 299, Village's sex offenders ordinance.

The motion to deny the appeal from the affected party requesting waiver of Chapter 299, Village's sex offenders ordinance was initiated by President Jaramillo and seconded by Trustee Vlach. Unanimously carried.

XV. Closed Session Business

A. Closed session pursuant to Wis. Stat. Sec. 19.85 (1) (f) Considering financial, medical, social or personal histories or disciplinary data of specific persons, preliminary consideration of specific personnel problems or the investigation of charges against specific persons except where par. (b) applies which, if discussed in public, would be likely to have a substantial adverse effect upon the reputation of any person referred to in such histories or data, or involved in such problems or investigations. Re: appeal to Chapter 299 Village Ordinances.

The Board did not go into closed session.

B. Motion to Reconvene into Open Session

C. Possible Action on Matters Discussed in Closed Session

XVI. Adjournment

The motion to adjourn was initiated by Trustee Umans and seconded by Trustee Wright at 07:58pm. Unanimously carried.

/s/ Tina Kolls, Village Clerk

These are not official Minutes until approved by the Governing Body.

04/05/2025 - 04/18/2025

Pay Date:

4/25/2025

Department	Gross Regular Wages	Gross OT Wages	Payroll Taxes & Deductions	Net Wages
Crossing Guard	\$761.40	\$0.00	\$62.10	\$699.30
General Administration	\$12,229.56	\$0.00	\$6,071.93	\$6,157.63
KNC	\$2,922.40	\$0.00	\$847.71	\$2,074.69
Lakefront/Beach	\$1,894.40	\$17.76	\$420.70	\$1,491.46
Library	\$8,315.07	\$0.00	\$3,111.44	\$5,203.63
Municipal Court	\$1,457.35	\$0.00	\$207.35	\$1,250.00
Parks	\$1,668.16	\$0.00	\$206.47	\$1,461.69
Police	\$30,362.66	\$2,468.62	\$10,487.08	\$22,344.20
Protective Services (F&R)	\$0.00	\$0.00	\$0.00	\$0.00
Public Works/W&S	\$12,748.59	\$0.00	\$4,513.03	\$8,235.56
Recreation Department	\$3,746.54		\$1,165.59	\$2,580.95
Village Board	\$0.00	\$0.00	\$0.00	\$0.00
Total Net Wages				\$51,499.11

GL Account and Title	Description	Amount	GL Period
425			
ACC PUBLISHING LLC			
100-55411-160 LAKEFRONT SUPPLIES	BOAT RAMP FEE ENVELOPES	1,188.66	425
Total ACC PUBLISHING LLC:		1,188.66	
AFLAC			
100-21259 AFLAC PAYABLE	VOLUNTARY INSUR POLICY	481.68	425
Total AFLAC:		481.68	
AIRGAS USA LLC			
200-57631-160 WATER TREATMENT CHEMICALS	CARBON DIOXIDE- BULK	4,040.00	425
Total AIRGAS USA LLC:		4,040.00	
AMAZON CAPITAL SERVICES			
100-55210-270 REC DEPT ATHLETIC PROGRAM EXP	T BALL EQUIPMENT	212.75	425
100-55210-275 REC DEPT PROGRAM EXPENSES	SPRING INTO SALSA PLANT TR	25.06	425
100-55210-270 REC DEPT ATHLETIC PROGRAM EXP	COACHING EQUIPMENT	134.95	425
100-55210-270 REC DEPT ATHLETIC PROGRAM EXP	BASEBALLS/SOFTBALLS	137.96	425
100-55210-143 FACILITY MAINTENANC/EQUIPMENT	SPEAKER AND MICROPHONE	582.45	425
100-55210-275 REC DEPT PROGRAM EXPENSES	SPRING BREAK CAMP	44.98	425
100-55210-275 REC DEPT PROGRAM EXPENSES	SPRING BREAK CAMP/ GAME D	110.66	425
100-55210-275 REC DEPT PROGRAM EXPENSES	SPRING BREAK CAMP/ GAME D	42.99	425
100-55210-275 REC DEPT PROGRAM EXPENSES	SPRING INTO SALSA PROGRA	22.09	425
Total AMAZON CAPITAL SERVICES:		1,313.89	
AUGUST WINTERS & SONS INC			
200-57610-140 WATER FUND CAPITAL OUTLAY	WATER TREATMENT FACILITY	53,722.50	425
Total AUGUST WINTERS & SONS INC:		53,722.50	
BALSLEY PRINTING			
100-51410-161 GEN ADMIN POSTAGE	SPRING 2025 NEWSLETTER	3,990.32	425
Total BALSLEY PRINTING:		3,990.32	
BATZNER PEST CONTROL			
100-55410-150 PARKS REPAIRS/MAINT	REC OFFICE PEST CONTROL	56.04	425
100-55411-150 LAKEFRONT REPAIRS/MAINT	BEACH HOUSE PEST CONTRO	67.38	425
100-51730-150 VH BLDG REPAIRS/MAINT	VH PEST CONTROL	72.21	425
100-51720-150 LIONS FIELD HOUSE REPAIR/MAINT	LIONS FIELDHOUSE PEST CON	65.97	425
400-58100-150 LIBRARY BLDG REPAIRS & MAINT	LIBRARY PEST CONTROL	65.97	425
Total BATZNER PEST CONTROL:		327.57	
BAXTER WOODMAN			
500-54310-140 STREETS/HIGHWAYS	2024 ROADWAY IMPROVEMENT	2,322.50	425
300-58965-140 SEWER CAPITAL OUTLAY	LIFT STATION 3 REMODEL	195.00	425
100-51630-000 LEGAL/ENGINEER/PLANNING AR	THE PRESERVE - REIMBURSED	5,752.50	425
100-51630-000 LEGAL/ENGINEER/PLANNING AR	CANYON DEVELOPEMENT - RE	2,080.00	425
200-57610-140 WATER FUND CAPITAL OUTLAY	WATER TREATMENT IMPROVE	4,550.00	425
100-51630-000 LEGAL/ENGINEER/PLANNING AR	WILLABAY MEADOWS REIMBU	6,060.00	425
100-51630-000 LEGAL/ENGINEER/PLANNING AR	PARK PL CSM REIMBURSED B	1,560.00	425
100-51630-000 LEGAL/ENGINEER/PLANNING AR	WALWORTH TWSP PROPERTIE	520.00	425
100-51630-000 LEGAL/ENGINEER/PLANNING AR	619 POINT DR - REIMBURSED B	715.00	425

GL Account and Title	Description	Amount	GL Period
Total BAXTER WOODMAN:		23,755.00	
BEACON ATHLETICS			
100-55210-270 REC DEPT ATHLETIC PROGRAM EXP	PITCHING RUBBER AND BASE	399.15	425
100-55210-270 REC DEPT ATHLETIC PROGRAM EXP	DIMENSION GUIDE	19.95	425
Total BEACON ATHLETICS:		419.10	
BRUSHFIRE SIGNS			
100-55411-150 LAKEFRONT REPAIRS/MAINT	BOAT LAUNCH SIGN PRICING C	249.00	425
Total BRUSHFIRE SIGNS:		249.00	
CINTAS OH			
200-57935-150 WATER PLANT REPAIRS/MAINT	FIRST AID BOX SUPPLIES	69.62	425
100-54310-160 STREETS SUPPLIES	FIRST AID BOX SUPPLIES	83.33	425
Total CINTAS OH:		152.95	
CONSERV FS INC			
100-55210-270 REC DEPT ATHLETIC PROGRAM EXP	5 STAR PACKING CLAY	147.50	425
Total CONSERV FS INC:		147.50	
DEPARTMENT OF ADMINISTRATION			
100-51414-000 SOFTWARE LICENSE & IT SUPPORT	GSB EMAIL FILTERING	18.80	425
Total DEPARTMENT OF ADMINISTRATION:		18.80	
ENERGENECS			
200-57935-150 WATER PLANT REPAIRS/MAINT	SCADA REPAIR	805.08	425
Total ENERGENECS:		805.08	
FREEDOM MAILING			
200-57921-160 WATER OFFICE SUPPLIES	UTILITY BILL DELINQUENT	13.02	425
300-58969-160 SEWER OFFICE SUPPLIES	UTILITY BILL DELINQUENT	13.02	425
200-57921-160 WATER OFFICE SUPPLIES	POSTAGE FOR DELINQUENT N	85.56	425
300-58969-160 SEWER OFFICE SUPPLIES	POSTAGE FOR DELINQUENT N	85.56	425
Total FREEDOM MAILING:		197.16	
GORDON FLESCH			
100-55210-130 REC DEPT TECHNOLOGY/IT	REC DEPT COPIER LEASE	48.46	425
100-51410-162 GEN ADMIN COPIER EXPENSE	VH COPIER LEASE	181.47	425
100-55210-130 REC DEPT TECHNOLOGY/IT	REC DEPT COPIER LEASE	48.46	425
100-51410-162 GEN ADMIN COPIER EXPENSE	VH COPIER LEASE	181.47	425
100-55210-130 REC DEPT TECHNOLOGY/IT	REC DEPT COPIER LEASE	48.46	425
100-51410-162 GEN ADMIN COPIER EXPENSE	VH COPIER LEASE	181.47	425
100-55210-130 REC DEPT TECHNOLOGY/IT	REC DEPT COPIER USAGE	40.53	425
100-51410-162 GEN ADMIN COPIER EXPENSE	VH COPIER USAGE	157.45	425
Total GORDON FLESCH:		887.77	
GRAYMONT WESTERN LIME INC.			
200-57631-160 WATER TREATMENT CHEMICALS	LIME	5,301.05	425

GL Account and Title	Description	Amount	GL Period
Total GRAYMONT WESTERN LIME INC.:		5,301.05	
HEANEY, KEN			
100-44622 LAUNCH REVENUE	LAUNCH PASS OVERPAYMENT	72.50	425
Total HEANEY, KEN:		72.50	
ILCMA			
100-51400-000 RECRUITING FEES	ZONING ADMIN POSITION POS	100.00	425
Total ILCMA:		100.00	
J&M DISPLAYS INC			
415-52320-165 FIREWORKS EXPENDITURE	2025 FIREWORKS DISPLAY	25,000.00	425
Total J&M DISPLAYS INC:		25,000.00	
JANESVILLE INDUSTRIAL SUPPLY			
400-58100-175 JANITORIAL SERVICES	APRIL LIBRARY CLEANING	675.00	425
100-51720-175 JANITORIAL SERVICES	APRIL FIELDHOUSE CLEANING	435.74	425
100-51730-175 JANITORIAL SERVICES	APRIL VH CLEANING	675.00	425
Total JANESVILLE INDUSTRIAL SUPPLY:		1,785.74	
JOHNSON'S NURSERY			
125-52320-165 TREE ENHANCEMENT EXPENDITURES	TREES	3,675.00	425
Total JOHNSON'S NURSERY:		3,675.00	
ODLING CONSTRUCTION INC.			
500-55410-140 PARKS/CAPITAL OUTLAY	TENNIS COURT REMOVAL	13,250.00	425
200-57651-150 WATER MAINS REPAIRS/MAINT	WATER MAIN REPAIR - 55 HILL	1,807.25	425
Total ODLING CONSTRUCTION INC.:		15,057.25	
ODLING PLUMBING & MECHANICAL LLC			
400-58100-150 LIBRARY BLDG REPAIRS & MAINT	FAUCET & REPLACEMENT	414.60	425
Total ODLING PLUMBING & MECHANICAL LLC:		414.60	
PETERSON'S RIVERVIEW NURSERY			
100-56130-000 TREE ENHANCEMENT	SEEDLINGS FOR ARBOR DAY	231.94	425
Total PETERSON'S RIVERVIEW NURSERY:		231.94	
SAFEBUILT LLC			
100-53100-211 BLDG INSPECTION CONTRACT	MARCH BUILDING PERMITS/IN	9,089.74	425
Total SAFEBUILT LLC:		9,089.74	
SCHEINER, ELLEN			
100-44623 HORVATH DRY STORAGE REVENUE	HORVATH STORAGE KEY REUN	50.00	425
Total SCHEINER, ELLEN:		50.00	
SCHWAAB INC			
100-51110-130 VILLAGE BOARD OTHER EXPENSE	NEW TRUSTEE NAME PLATES	27.00	425

GL Account and Title	Description	Amount	GL Period
100-51110-130 VILLAGE BOARD OTHER EXPENSE	BUSINESS CARDS FRANZEN	29.15	425
100-51110-130 VILLAGE BOARD OTHER EXPENSE	BUSINESS CARDS BARTHOLO	29.15	425
100-51110-130 VILLAGE BOARD OTHER EXPENSE	BUSINESS CARDS JARAMILLO	28.40	425
Total SCHWAAB INC:		113.70	
SHERWIN INDUSTRIES INC.			
500-54310-140 STREETS/HIGHWAYS	GRAYCO LINE SPRAYER	8,598.00	425
100-54310-282 HIGHWAY STRIPING/MARKING	REFRACTIVE GLASS BEADS	330.00	425
Total SHERWIN INDUSTRIES INC.:		8,928.00	
STAAB CONSTRUCTION CORP			
300-58965-140 SEWER CAPITAL OUTLAY	LIFT STATION 3 REPLACEMENT	272,406.00	425
Total STAAB CONSTRUCTION CORP:		272,406.00	
STATE OF WI - COURT FINES			
100-45001 COURT FINE REVENUE	APRIL 2025 FORFEITURES	127.00	425
Total STATE OF WI - COURT FINES:		127.00	
THE COACH'S LOCKER			
100-55210-270 REC DEPT ATHLETIC PROGRAM EXP	BASEBALLS	450.00	425
100-55210-270 REC DEPT ATHLETIC PROGRAM EXP	SOFTBALLS	264.00	425
100-55210-270 REC DEPT ATHLETIC PROGRAM EXP	SOFTBALLS	264.00	425
100-55210-270 REC DEPT ATHLETIC PROGRAM EXP	UMPIRE SHIRT GUARDS	39.95	425
100-55210-270 REC DEPT ATHLETIC PROGRAM EXP	UMPIRE MASK	49.95	425
100-55210-270 REC DEPT ATHLETIC PROGRAM EXP	UMPIRE CHEST PRO	34.95	425
Total THE COACH'S LOCKER:		1,102.85	
TOP PACK DEFENSE LLC			
100-52120-125 POLICE UNIFORMS	POLICE UNIFORM VEST EQUIP	1,716.07	425
Total TOP PACK DEFENSE LLC:		1,716.07	
UMANS, ROB			
125-52320-165 TREE ENHANCEMENT EXPENDITURES	SUPPLIES	272.00	425
125-52320-165 TREE ENHANCEMENT EXPENDITURES	SUPPLIES	67.35	425
Total UMANS, ROB:		339.35	
USA BLUE BOOK			
200-57632-160 WATER TREATMENT SUPPLIES	FLOURIDE	77.90	425
Total USA BLUE BOOK:		77.90	
VANDEWALLE & ASSOCIATES			
100-51630-000 LEGAL/ENGINEER/PLANNING AR	THE PRESERVE COST RECOVER	160.00	425
Total VANDEWALLE & ASSOCIATES:		160.00	
WACHTEL TREE SCIENCE			
100-56130-000 TREE ENHANCEMENT	TREE CONSULT	370.00	425
Total WACHTEL TREE SCIENCE:		370.00	

GL Account and Title	Description	Amount	GL Period
WALWORTH COUNTY TREASURER-COURT FINES			
100-45001 COURT FINE REVENUE	APRIL 2025 FORFEITURES	20.00	425
Total WALWORTH COUNTY TREASURER-COURT FINES:		20.00	
WATER WELL SOLUTIONS			
200-57602-150 WELL #2 - REPAIRS	WELL PUMP 2 REPLACEMENT	87,765.27	425
Total WATER WELL SOLUTIONS:		87,765.27	
WILLIAMS BAY AUTOMOTIVE			
100-52120-150 POLICE REPAIRS/MAINT	TIER REPAIR	28.84	425
Total WILLIAMS BAY AUTOMOTIVE:		28.84	
WISCONSIN DEPT OF JUSTICE			
100-52120-130 POLICE IT EXPENSE	IT	307.50	425
Total WISCONSIN DEPT OF JUSTICE:		307.50	
WITTE SUPPLY COMPANY			
100-55410-150 PARKS REPAIRS/MAINT	GRASS SEED	92.00	425
100-55410-150 PARKS REPAIRS/MAINT	TOPSOIL	63.00	425
Total WITTE SUPPLY COMPANY:		155.00	
WOODMAN, TANNIS			
100-55210-275 REC DEPT PROGRAM EXPENSES	INSTRUCTOR FOR PAINT & SIP	350.00	425
Total WOODMAN, TANNIS:		350.00	
Total 425:		526,442.28	
Grand Totals:		526,442.28	

Village Board Approval Date: _____

GL Account and Title	Description	Amount	Date Paid	GL Period
ARNOLD, SUZANNE				
100-51412-110 ELECTION WAGES	ELECTION PAY	42.50		425
Total ARNOLD, SUZANNE:		42.50		
BALSLEY PRINTING				
100-51410-161 GEN ADMIN POSTAGE	POSTAGE FOR NEWSLE	1,263.00		425
Total BALSLEY PRINTING:		1,263.00		
BLACK, DAVID				
100-51412-110 ELECTION WAGES	ELECTION PAY	52.50		425
Total BLACK, DAVID:		52.50		
BLACK, DEBORAH				
100-51412-110 ELECTION WAGES	ELECTION PAY	52.50		425
Total BLACK, DEBORAH:		52.50		
BYRNES, PATRICK				
100-51412-110 ELECTION WAGES	ELECTION PAY	47.50		425
Total BYRNES, PATRICK:		47.50		
CREED, BRUCE				
100-51412-110 ELECTION WAGES	ELECTION PAY	50.00		425
Total CREED, BRUCE:		50.00		
DAILEY, SONYA				
100-51412-110 ELECTION WAGES	ELECTION PAY	62.50		425
Total DAILEY, SONYA:		62.50		
ESTRADA, MARIA				
100-51412-110 ELECTION WAGES	ELECTION PAY	120.00		425
Total ESTRADA, MARIA:		120.00		
HANDLEY, CRISSY				
100-51412-110 ELECTION WAGES	ELECTION PAY	42.50		425
Total HANDLEY, CRISSY:		42.50		
HUNT, WILLIAM				
100-51412-110 ELECTION WAGES	ELECTION PAY	55.00		425
Total HUNT, WILLIAM:		55.00		
KLEIN-DEGER, AUDREY ANN				
100-51412-110 ELECTION WAGES	ELECTION PAY	40.00		425
Total KLEIN-DEGER, AUDREY ANN:		40.00		
KOLLS, MARK A				
100-51412-110 ELECTION WAGES	ELECTION PAY	127.50		425

GL Account and Title	Description	Amount	Date Paid	GL Period
Total KOLLS, MARK A:		127.50		
LAUGHLIN, CATHEE				
100-51412-110 ELECTION WAGES	ELECTION PAY	720.00		425
Total LAUGHLIN, CATHEE:		720.00		
LAUGHLIN, JOHN W				
100-51412-110 ELECTION WAGES	ELECTION PAY	50.00		425
Total LAUGHLIN, JOHN W:		50.00		
MICHAELSON, SHERYL ANN				
100-51412-110 ELECTION WAGES	ELECTION PAY	42.50		425
Total MICHAELSON, SHERYL ANN:		42.50		
MONROE, RENA				
100-51412-110 ELECTION WAGES	ELECTION PAY	577.50		425
Total MONROE, RENA:		577.50		
PERKINS, HEATHER M				
100-51412-110 ELECTION WAGES	ELECTION PAY	40.00		425
Total PERKINS, HEATHER M:		40.00		
RIEDEL, JAMES H				
100-51412-110 ELECTION WAGES	ELECTION PAY	52.50		425
Total RIEDEL, JAMES H:		52.50		
STEELE, SUSAN				
100-51412-110 ELECTION WAGES	ELECTION PAY	40.00		425
Total STEELE, SUSAN:		40.00		
TENYER, KATHRYN				
100-51412-110 ELECTION WAGES	ELECTION PAY	62.50		425
Total TENYER, KATHRYN:		62.50		
TRAVIS, KIMBERLY				
100-51412-110 ELECTION WAGES	ELECTION PAY	152.50		425
Total TRAVIS, KIMBERLY:		152.50		
VANDENBROUCKE, RICHARD C				
100-51412-110 ELECTION WAGES	ELECTION PAY	52.50		425
Total VANDENBROUCKE, RICHARD C:		52.50		
WILSON-BURG, JULIA				
100-51412-110 ELECTION WAGES	ELECTION PAY	62.50		425
Total WILSON-BURG, JULIA:		62.50		

GL Account and Title	Description	Amount	Date Paid	GL Period
Grand Totals:		3,808.00		

Village Board Approval Date: _____

GL Account and Title	Description	Amount	Date Paid	GL Period
CIVIC SYSTEMS LLC				
100-51414-000 SOFTWARE LICENSE & IT SUPPORT	MI EXCEL PR SEMI ANNU	72.68		425
200-58801-000 IT SUPPORT/ANNUAL FEES	MI EXCEL PR SEMI ANNU	39.50		425
300-58801-000 IT SUPPORT/ANNUAL FEES	MI EXCEL PR SEMI ANNU	39.50		425
400-58100-130 LIBRARY EQUIPMENT	MI EXCEL PR SEMI ANNU	6.32		425
100-51414-000 SOFTWARE LICENSE & IT SUPPORT	A/R CIVIC PR LICENE & T	6,808.00		425
200-58801-000 IT SUPPORT/ANNUAL FEES	A/R CIVIC PR LICENE & T	3,700.00		425
300-58801-000 IT SUPPORT/ANNUAL FEES	A/R CIVIC PR LICENE & T	3,700.00		425
400-58100-130 LIBRARY EQUIPMENT	A/R CIVIC PR LICENE & T	592.00		425
Total CIVIC SYSTEMS LLC:		14,958.00		
GILA LLC				
100-51414-000 SOFTWARE LICENSE & IT SUPPORT	ANNUAL FEE FOR PROP	99.99		425
Total GILA LLC:		99.99		
WILLIAMS BAY BUSINESS ASSN				
100-51965-000 WMS BAY BUSINESS ASSOC	4TH QTR2024 ROOM TA	482.32		425
Total WILLIAMS BAY BUSINESS ASSN:		482.32		
Grand Totals:		15,540.31		

Village Board Approval Date: _____



VILLAGE OF WILLIAMS BAY

250 Williams Street | PO Box 580 | Williams Bay | WI | 53191 | vi.williamsbay.wi.gov

Phone: 262-245-2700

UNOFFICIAL MINUTES PLAN COMMISSION MEETING 4/8/2025 MEETING TUESDAY, APRIL 8, 2025 AT 6:30 PM VILLAGE HALL COUNCIL ROOM 250 WILLIAMS STREET WILLIAMS BAY, WI 53191

**A QUORUM OF THE VILLAGE BOARD MAY BE PRESENT, NO BOARD
BUSINESS WILL BE CONDUCTED.**

I. Call to Order

President Duncan called the meeting to order at 06:30pm.

II. Roll Call

Present: President Duncan, Trustee Wright, Commissioners Watts, Gage, Klemke, Robbins, Haak

Also Present: Zoning Administrator Schaeffer, Village Engineer Snyder, Clerk Kolls

III. Pledge of Allegiance

The Pledge of Allegiance was recited by all.

IV. Minutes

A. Plan Commission Meeting Minutes of March 11, 2025

The motion to approve the Plan Commission Meeting Minutes of March 11, 2025 was initiated by Commissioner Robbins and seconded by Commissioner Watts. Trustee Wright Abstained. Motion carries.

V. Recommendation and Possible Action for a Revision to Proposed Signage and Upper Floor Awnings in the Village Center District

A. APPLICANT: Dancing Dudes, LLC (Owner), Attorney Christina Green (Agent)

TAX KEYS: WOP 00088

STREET ADDRESS: 77 N. Walworth Ave, Williams Bay, WI 53191

Applicant requests a recommendation to the Village Board for approval of revised awning signage. The applicant also requests approval for an architectural design alteration to remove the upper floor awnings.

The motion to recommend Village Board approval of the design alteration per the original plan approval, with matching awnings on the first and second floors, window boxes, and no shutters having to come back with any further changes was initiated by Commissioner Haak and seconded by Commissioner Gage. Unanimously carried.

VI. Recommendation and Possible Action for a Conditional Use Permit

A. APPLICANT: Dan Leahy (Owner), Michael Levitzke, Jr. (Agent)

TAX KEY: WA506300001

STREET ADDRESS: 178 Clover St, Williams Bay, WI 53191

Applicant requests a recommendation to the Village Board for a conditional use permit per Section 390-0809.D (2) *Fencing Standards*:

The project consists of 6' high semi-private aluminum and composite fencing located along the side lot lines and a 4'6" high gate with 5'6" high pillars located in the street yard.

The motion to recommend Village Board approval of a conditional use permit per Section 390-0809.D (2) *Fencing Standards*: The project consists of 6' high semi-private aluminum and composite fencing located along the side lot lines and a 4'6" high gate with 5'6" high pillars located in the street yard was initiated by Trustee Wright and seconded by Commissioner Gage. Commissioner Klemke No. Motion carries.

VII. Recommendation and Possible Action for a Temporary Use Permit

A. APPLICANT: Yerkes Future Foundation (Owner)

TAX KEY: WA518500001

STREET ADDRESS: 373 W. Geneva St, Williams Bay, WI 53191

Applicant requests a recommendation to the Village Board for a temporary use permit for placement of a 40' x 60' tent between the end of April and end of October annually.

The motion to recommend Village Board approval of a temporary use permit for placement of a 40' x 60' tent between the end of April and end of October annually was initiated by Commissioner Robbins and seconded by Commissioner Haak.

The motion to recommend Village Board approval of a temporary use permit for placement of a 40' x 60' tent between the end of April and end of October annually amended to be for 2025 only, was initiated by Commissioner Robbins and seconded by Commissioner Haak. Unanimously carried.

VIII. Discussion Only Regarding a Development Concept Plan

A. APPLICANT: Anthony Navilio, Bayside, LLC (Owner)

TAX KEY: WOP 00053

STREET ADDRESS: 78 N. Walworth Ave. and 17 W. Geneva St, Williams Bay, WI 53191

Applicant requests discussion and comments regarding a proposed mixed-use development including townhomes and small commercial/retail space.

Applicant Anthony Navillio presented information only and feedback from the Commission. The Commission gave feedback regarding the need to keep the commercial use of this property.

IX. Recommendation and Possible Action for a Certified Survey Map

A. APPLICANT: Jack Pease, Super Mix, USA (Owner)

TAX KEY: WA505600002

STREET ADDRESS: South side of Park Place between Constance Blvd. and Dartmouth Rd., Williams Bay, WI 53191

Applicant requests a recommendation to the Village Board for approval of a Certified Survey Map per Section 375.0306 "Minor Land Division Procedures" to divide the existing 2.87 acre parcel into three parcels of nearly 1 acre each.

The motion to recommend Village Board approval of a Certified Survey Map per Section 375.0306 "Minor Land Division Procedures" to divide the existing 2.87-acre parcel into three parcels of nearly 1 acre each subject to the Village Engineers' conditions was initiated by Trustee Wright and seconded by Commissioner Gage. Unanimously carried.

X. Adjournment

The motion to adjourn was initiated by Commissioner Klemke and seconded by Trustee Wright at 07:41pm. Unanimously carried.

/s/ Tina Kolls, Village Clerk



VILLAGE OF WILLIAMS BAY

250 Williams Street | PO Box 580 | Williams Bay | WI | 53191 | vi.williamsbay.wi.gov

Phone: 262-245-2700

UNOFFICIAL MINUTES VILLAGE BOARD 4/21/2025 MEETING MONDAY, APRIL 21, 2025 AT 6:30 PM VILLAGE HALL COUNCIL ROOM 250 WILLIAMS STREET WILLIAMS BAY, WI 53191

I. Call to Order

President Jaramillo called the meeting to order at 06:30pm.

II. Roll Call

Present: President Adam Jaramillo, Trustees George Vlach, Lowell Wright, Robert Umans, Steven Russell, Mary Bartholomew and Susan Franzen

Also Present: Administrator David Lothspeich, Police Chief Justin Timm, Village Engineer Doug Snyder, Treasurer Jennifer Wiese, Clerk Tina Kolls

III. Pledge of Allegiance

The Pledge of Allegiance was recited by all.

IV. Meeting Decorum

- A. Meeting Decorum. *According to Robert's Rules of Order, meeting decorum means maintaining respectful and orderly behavior during a discussion, including addressing the chair to speak, staying relevant to the topic at hand, avoiding personal attacks, and generally adhering to courteous conduct while debating issues; essentially, ensuring that discussions are focused and civil, with only one person speaking at a time when recognized by the chair. Violators of meeting decorum will be excused from the meeting.*

V. Minutes

- A. Village Board Meeting Minutes of April 7, 2025

The motion to approve the Village Board Meeting Minutes of April 7, 2025 as corrected was initiated by Trustee Wright and seconded by Trustee Vlach. Trustees Franzen, Bartholomew and Umans abstain. Motion carries.

VI. Presentation of accounts and petitions

- A. Payroll ending 04-04-2025 in the amount of \$53,166.88

The motion to approve the Payroll ending 04-04-2025 in the amount of \$53,166.88 was initiated by Trustee Wright and seconded by Trustee Vlach. Unanimously carried.

- B. Accounts Payable Prepays dated 04-10-2025 in the amount of \$17,003.80

The motion to approve the Accounts Payable Prepays dated 04-10-2025 in the amount of \$17,003.80 was initiated by Trustee Wright and seconded by Trustee Umans. Unanimously carried.

- C. Accounts Payable Unpays dated 04-16-2025 in the amount of \$231,118.03

The motion to approve the Accounts Payable Unpays dated 04-16-2025 in the amount of \$231,118.03 was initiated by

Trustee Wright and seconded by Trustee Umans. Unanimously carried.

D. Library Accounts Payable Prepays dated 04-15-2025 in the amount of \$1,755.19

The motion to approve the Library Accounts Payable Prepays dated 04-15-2025 in the amount of \$1,755.19 was initiated by Trustee Wright and seconded by Trustee Umans. Unanimously carried.

E. Monthly EFT Payments for March 2025 in the amount of \$138,395.97

The motion to approve the Monthly EFT Payments for March 2025 in the amount of \$138,395.97 was initiated by Trustee Wright and seconded by Trustee Umans. Unanimously carried.

F. February 2025 Financial Statement

The motion to accept the February 2025 Financial Statement was initiated by Trustee Wright and seconded by Trustee Umans. Unanimously carried.

G. 2025 Legal Fees

The 2025 Legal Fees were presented for information only.

VII. Plan Commission

A. APPLICANT: Dancing Dudes, LLC (Owner), Attorney Christina Green (Agent)

TAX KEYS: WOP 00088

STREET ADDRESS: 77 N. Walworth Ave, Williams Bay, WI 53191

Applicant requests a recommendation to the Village Board for approval of revised awning signage. The applicant also requests approval for an architectural design alteration to remove the upper floor awnings.

The motion to approve the Applicant requests for an architectural design alteration for awnings as shown on the original plan, window boxes as shown on the original plan, somehow shielding of the vent on the side of the building and accepting the door that was added was initiated by Trustee Russell and seconded by Trustee Wright. Unanimously carried.

B. APPLICANT: Dan Leahy (Owner), Michael Levitzke, Jr. (Agent)

TAX KEY: WA506300001

STREET ADDRESS: 178 Clover St, Williams Bay, WI 53191

Applicant requests a recommendation to the Village Board for a conditional use permit per Section 390-0809.D (2) *Fencing Standards*:

The project consists of 6' high semi-private aluminum and composite fencing located along the side lot lines and a 4'6" high gate with 5'6" high pillars located in the street yard.

The motion to Approve a conditional use permit per Section 390-0809.D (2) *Fencing Standards*: The project consists of 6' high semi-private aluminum and composite fencing located along the side lot lines and a 4'6" high gate with 5'6" high pillars located in the street yard was initiated by President Jaramillo and seconded by Trustee Wright.

Votes:

Yes: President Jaramillo, Trustees Vlach, Wright, Umans and Russell

No: Trustees Bartholomew and Franzen

Abstain: None

Result: Passed

C. APPLICANT: Yerkes Future Foundation (Owner)

TAX KEY: WA518500001

STREET ADDRESS: 373 W. Geneva St, Williams Bay, WI 53191

Applicant requests a recommendation to the Village Board for a temporary use permit for placement of a 40' x 60' tent between the end of April and end of October annually.

The motion to approve a temporary use permit for the placement of a 40' x 60' tent between the end of April and end of October annually was initiated by President Jaramillo and seconded by Trustee Franzen. Trustee Bartholomew abstained. Motion carries.

- D. APPLICANT:** Jack Pease, Super Mix, USA (Owner)
TAX KEY: WA505600002
STREET ADDRESS: South side of Park Place between Constance Blvd. and Dartmouth Rd., Williams Bay, WI 53191
Applicant requests a recommendation to the Village Board for approval of a Certified Survey Map per Section 375.0306 "Minor Land Division Procedures" to divide the existing 2.87 acre parcel into three parcels of nearly 1 acre each.

The motion to approve the Certified Survey Map per Section 375.0306 "Minor Land Division Procedures" to divide the existing 2.87-acre parcel into three parcels of nearly 1 acre each was initiated by President Jaramillo and seconded by Trustee Umans. Unanimously carried.

VIII. Joint Extraterritorial Zoning Committee: pursuant to section 18.171F(A)

- A. APPLICANTS:** Inns of Geneva National, LLC (Owner), Garth Chambers, Paloma Geneva National (Applicant)
TAX KEY: JGN6000001
STREET ADDRESS: 1091 Hidden Cottage Circle, Town of Geneva, Walworth County, Wisconsin
The applicant requests an amendment to a Conditional Use Permit per 390.1714, *Conditional Use Permit* and 390.1703.V, B-5, *ETZ Planned Commercial-Recreation Business District* to change one of the buildings containing 16 sleeping units to four (4) cottage-style buildings containing 16 sleeping units (each cottage has 4 bedrooms).

The motion to approve an amendment to a Conditional Use Permit per 390.1714, *Conditional Use Permit* and 390.1703.V, B-5, *ETZ Planned Commercial-Recreation Business District* to change one of the buildings containing 16 sleeping units to four (4) cottage-style buildings containing 16 sleeping units (each cottage has 4 bedrooms) was initiated by President Jaramillo and seconded by Trustee Bartholomew. Unanimously carried.

IX. Public Comments

- A. Public Comments Responses - Responses to Public Comments from the previous Village Board Meeting are included in the Meeting Packet Materials Under this Agenda Item**
- B. Public Comments.** *Individual public comments will be limited to two (2) minutes maximum. If your comments align with other comments before you, please consider stating that you are in agreement with those comments. The public may speak on any item that is not included on this agenda as a "Public Hearing or Forum." Anyone who wishes to comment should identify himself or herself and provide his or her local address. Board members may discuss any matter raised by the public. However, the Board will refrain from extensive dialogue and should not take action on matters raised by the public during a public comment period. Referrals to committees or staff members might be made. Members may ask the commenter to clarify his or her remarks. The Board President or the presiding officer will maintain control of the meeting.*

Pam Russell, 24 Lower Loch Vista, spoke regarding the awnings on 77 N. Walworth Ave building
Annaliesa Prohuska, 109 Clover St, spoke regarding fencing ordinance
Diane Buckle, 561 Free Church, spoke regarding the awnings on 77 N. Walworth Ave building
Connie Gluth, 95 Lackey Dr, spoke regarding the crosswalk on Frost Drive

X. President's Remarks

- A. Acknowledge Municipal Judge Don Robison Service to the Village.**

President Jaramillo acknowledged Municipal Judge Don Robison for his service to the Village.

- B. Acknowledge Lake Geneva Regional News Reporter Eric Johnson Service to the Village.**

President Jaramillo acknowledged former Lake Geneva Regional News Reporter Eric Johnson for his service to the Village.

XI. Ordinances and Resolutions

- A. Resolution R-28-25 Approving the Developer Agreement between the Village of Williams Bay and Jack**

Pease. Super Mix, USA (Owner)

TAX KEY: WA505600002

STREET ADDRESS: South side of Park Place between Constance Blvd. and Dartmouth Rd., Williams Bay, WI 53191

Developers Agreement for a Certified Survey Map (CSM) dividing the existing 2.87 acre parcel into three parcels of nearly 1 acre each.

The motion to approve resolution R-28-25 Approving the Developer Agreement between the Village of Williams Bay and Jack Pease. Super Mix, USA (Owner)

TAX KEY: WA505600002 STREET ADDRESS: South side of Park Place between Constance Blvd. and Dartmouth Rd., Williams Bay, WI 53191

Developers Agreement for a Certified Survey Map (CSM) dividing the existing 2.87 acre parcel into three parcels of nearly 1 acre each as corrected was initiated by Trustee Vlach and seconded by Trustee Wright. Unanimously carried.

B. Resolution R-29-25 Approving of Contract for Construction of Public Works Improvements Related to the Topography The Preserve Development

The motion to approve resolution R-29-25 Approving of Contract for Construction of Public Works Improvements Related to the Topography The Preserve Development was initiated by Trustee Franzen and seconded by Trustee Vlach. Unanimously carried.

XII. Committee Reports

A. Protective Services, Chair - Trustee Vlach

1. Original, Renewal, or Temporary Operator License Applications

The motion to approve the Original, Renewal, or Temporary Operator License Applications was initiated by Trustee Vlach and seconded by Trustee Umans. Unanimously carried.

2. Resolution R-30-25 Granting Temporary Class "B" and "Class B" Retailer's License for Williams Bay Business Association for the Cinco De Mayo Event May 3 & 4, 2025

The motion to approve resolution R-30-25 Granting Temporary Class "B" and "Class B" Retailer's License for Williams Bay Business Association for the Cinco De Mayo Event May 3, 2025 from 12-6 was made by Committee, no second required. Unanimously carried.

3. Discussion and Possible Action on a Class B Beer and Class B Liquor License Application for Topography Beverage Company LLC

The motion to approve a Class B Beer and Class B Liquor License Application for Topography Beverage Company LLC conditioned upon the sale occurs, the current holder surrenders the license and a final inspection is completed by the Williams Bay Police Department regarding the fencing was initiated by Trustee Vlach and seconded by Trustee Franzen. Unanimously carried.

B. Parks & Lakefront, Chair - Trustee Russell

1. Discussion and Possible Action on a Cost Estimate for Replacement of Asphalt at the Williams Bay Launch

This item was information only.

XIII. Public Comments

- A.** *Individual public comments will be limited to two (2) minutes maximum. If your comments align with other comments before you, please consider stating that you are in agreement with those comments. The public may speak on any item that is not included on this agenda as a "Public Hearing or Forum." Anyone who wishes to comment should identify himself or herself and provide his or her local address. Board members may discuss any matter raised by the public. However, the Board will refrain from extensive dialogue and should not take action on matters raised by the public during a public comment period. Referrals to committees or staff members might be made. Members may ask the commenter to clarify his or her remarks. The Board President or the presiding officer will maintain control of the meeting.*

There were no public comments.

XIV. Other Items for Discussion, Consideration, or Action

A. Municipal Treasurers Appreciation Week Proclamation

President Jaramillo read the Municipal Treasurer's Appreciation Week Proclamation.

B. Arbor Day Proclamation

President Jaramillo read the Arbor Day Proclamation.

C. Village Clerk receipt of appeal from the affected party requesting waiver of Chapter 299, Village's sex offenders ordinance.

The motion to deny the appeal from the affected party requesting waiver of Chapter 299, Village's sex offenders ordinance was initiated by President Jaramillo and seconded by Trustee Vlach. Unanimously carried.

XV. Closed Session Business

A. Closed session pursuant to Wis. Stat. Sec. 19.85 (1) (f) Considering financial, medical, social or personal histories or disciplinary data of specific persons, preliminary consideration of specific personnel problems or the investigation of charges against specific persons except where par. (b) applies which, if discussed in public, would be likely to have a substantial adverse effect upon the reputation of any person referred to in such histories or data, or involved in such problems or investigations. Re: appeal to Chapter 299 Village Ordinances.

The Board did not go into closed session.

B. Motion to Reconvene into Open Session

C. Possible Action on Matters Discussed in Closed Session

XVI. Adjournment

The motion to adjourn was initiated by Trustee Umans and seconded by Trustee Wright at 07:58pm. Unanimously carried.

/s/ Tina Kolls, Village Clerk

These are not official Minutes until approved by the Governing Body.



Black
 Canvas
 Awning #1 Green Grocer & Deli
 #2 Clear Waters Salon Med Spa
 #3 Chocolaterie Colibri

Second floor Awnings
 * Black Metal



VILLAGE OF WILLIAMS BAY

Office of Zoning Administrator

Evaluation Report Plan Commission Meeting April 8, 2025

April 1, 2025

APPLICANT: Dancing Dudes, LLC (Owner), Attorney Christina Green (Agent)

TAX KEY: WOP 00088

STREET ADDRESS: 77 N. Walworth Ave, Williams Bay, WI 53191

Applicant requests a recommendation to the Village Board for approval of revised awning signage. The applicant also requests approval for an architectural design alteration to remove the upper floor awnings.

The original approved building elevations are included in the agenda packet. Almost all of the upper floor windows had copper window heads (awnings).

Section 390-0705.C(2)(d) Village Center Overlay Sign Design Standards:

Design of signage.

- [1] Signs shall be constructed of materials consistent with the architecture of the building.
- [2] Internally lit signage is prohibited.
- [3] Awning signs shall be discouraged.
- [4] On buildings with more than one story, wall signage shall not be placed above the ground floor.
- [5] Window signage shall not cover more than 30% of any ground floor window or more than 10% of any upper-story window.
- [6] Freestanding pole signs shall be prohibited. All freestanding signs shall be monument-style signs.
- [7] Roof signs are prohibited.

Respectfully submitted,

Bonnie M. Schaeffer

Zoning Administrator

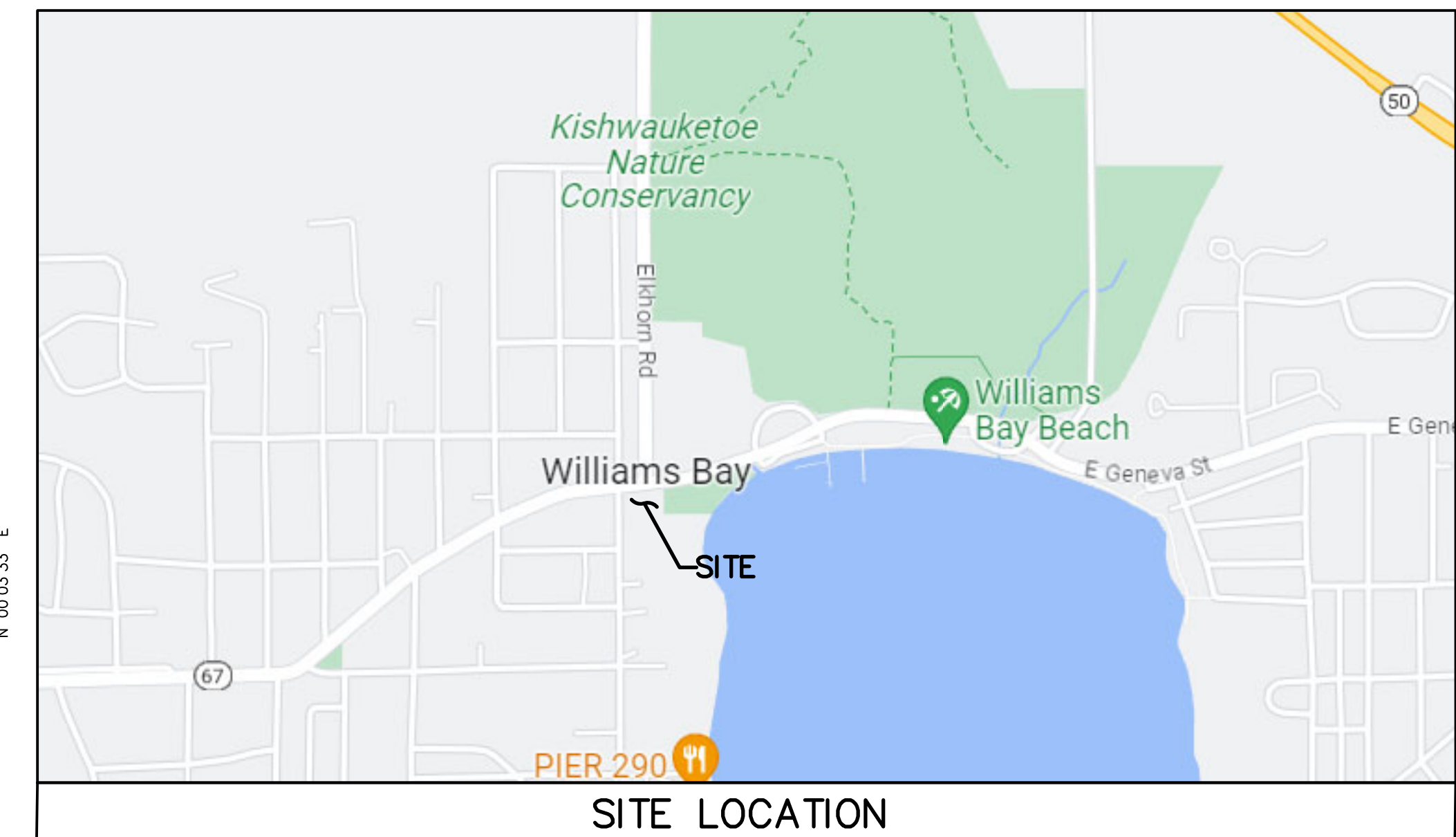








LOCATED IN PART OF THE SE 1/4 OF THE NE 1/4 OF
SECTION 1, TOWN 1 NORTH, RANGE 16 EAST,
VILLAGE OF WILLIAMS BAY, WALWORTH COUNTY, WISCONSIN



NOTE: EROSION CONTROL, SPECIFICATIONS, AND
CONSTRUCTION DETAILS WILL GO ON FINAL PLAN

TO SHEET INDEX

SHEET 1	—	SITE AND GRADING PLAN
SHEET 2	—	WEST & NORTH ELEVATIONS
SHEET 3	—	EAST & SOUTH ELEVATIONS
SHEET 4	—	BASEMENT /FOUNDATION PLAN
SHEET 5	—	FIRST FLOOR PLAN
SHEET 6	—	SECOND FLOOR PLAN

-WORK ORDERED BY-
DANCING DUDES, JENNIFER VEITH
P.O. BOX 1332
WILLIAMS BAY, WISCONIN 53191

SEQUENCE OF CONSTRUCTION & SITE CONTROL

- 1) CLEAN SITE UP AND REMOVE ALL PAVEMENT FOR PAVEMENT PROVIDING ACCESS TO 69 WALWORTH AVENUE
- 2) PROVIDE FOR SHEETING BEHIND EXISTING WALKS FOR BASEMENT EXCAVATION
- 3) INSTALL/ REPLACE EXISTING STORM SEWER
- 4) REPAIR/ STABILIZE EXISTING 12" RETAINMENT WALL (PAINT OR RESURFACE
- 5) EXCAVATE FOR BASEMENT HAULING ALL SURPLUS MATERIALS OFF SITE FOR DISPOSAL
- 6) PROVIDE IMPORTED GRAVEL BASE AND GRANULAR BACKFILL COMPACTED IN 8" LIFTS. GEOTECHNICAL FIRM TO BE ON SITE FOR INITIAL TESTING OF FOUNDATION WORK.
- 7) PROVIDE SAFETY CHAIN LINK FENCING FULLY AROUND ALL EXCAVATIONS TO SAFE GUARD THE PUBLIC. SIDE WALKS TO BE CLOSED DURING MUCH OF THE CONSTRUCTION WORK.
- 8) CONTRACTOR IS TO PROVIDED SCHEDULE OF OPERATIONS TO OWNER AND ENGINEER.
- 9) ALL SURFACES STORM INLETS SHALL BE PROTECTED WITH DRAINAGE FABRIC, SET UNDER GRATE. USE OF 12" STRAW WATTLES STUCK DOWN AT ALL POINTS WHERE SURFACE RUNOFF LEAVES THE SITE WILL BE REQUIRED
- 10) COORDINATE AND COOPERATION WITH VILLAGE OFFICIALS AND ALL SITE CONTRACTORS WILL BE REQUIRED. ALL SUB CONTRACTORS ARE TO BE UNDER THE GENERAL CONTRACTORS OVERSIGHT
- 11) FOUNDATION DRAINAGE MAY BE ADJUSTED BASED ON SOIL CONDITIONS ENCOUNTERED WHEN EXCAVATING FOR THE LOWER BASEMENT

SITE AND GRADING PLAN

ENGINEERING — ARCHITECTURE — SURVEYING
7 RIDGWAY COURT P.O. BOX 437
ELKHORN, WISCONSIN 53121
OFFICE: (262) 723-2098 FAX: (262) 723-5886

REVISIONS
3/2023 - TS S, SPELLINGS, AND S
8/2023 - TS UNCE
4/2023 - TS UNCE REV #3
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6/2023 - TS UNCE
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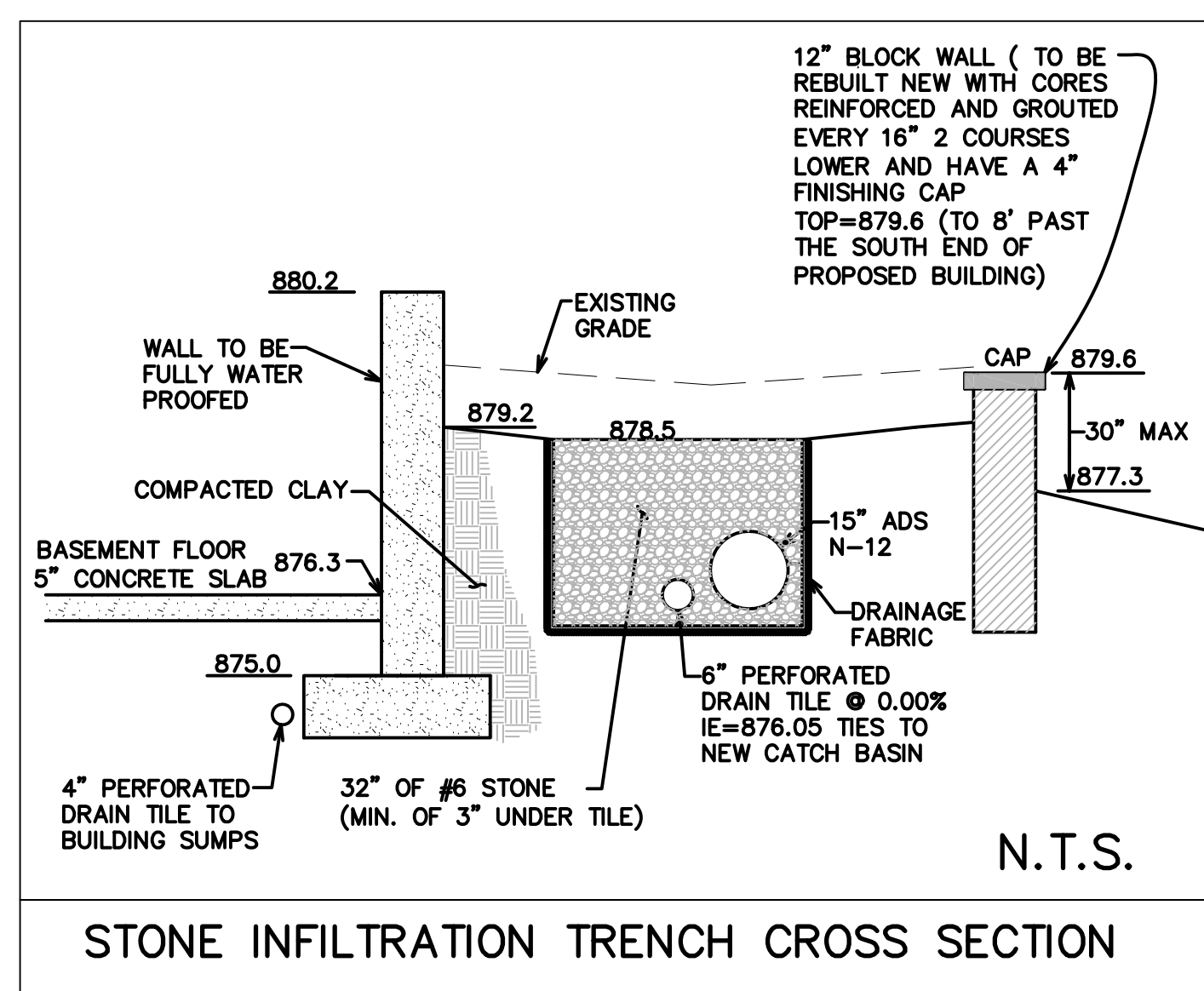
PROJECT NO.	052.KEG.23
DATE	5/30/2023
SHEET NO.	1 OF 6

SOIL BORINGS

- B-1 13" PAVEMENT AND BASE
45" GRAY SANDY LEAN CLAY
(SOFT)(DRY) 800 PSF BEARING
- B-2 SURFACE=883.1 WATER @ 873.3
13" PAVEMENT AND BASE
53" GRAY LEAN CLAY (1,500 PSF)
60" CLAYEY SAND (2,000 PSF)
66" SANDY LEAN CLAY (OVER 3,000 PSF)
- B-3 SURFACE=884.1
66" FILL (LOOSE)
60" GREY SILT (2,000 PSF)
54" SANDY LEAN CLAY DRY (OVER 3,000 PSF)
(WATER AT 878.8)
- B-4 SURFACE=883.7
66" FILL (LOOSE)
30" GRAY LEAN CLAY (SOFT)
30" SANDY SILT (LOOSE)
114" SANDY LEAN CLAY (FIRM TO VERY STIFF
2,000 PSF @ 872.0
- B-5 SURFACE=880.5 WATER @ 873.5
3" PAVEMENT
15" GRAVEL BASE
18 FILL
54" GREY LEAN CLAY (STIFF)
24" CLAYEY SAND W/ GRAVEL (2,000 PSF)
GREY SAND/ GRAVEL (871.0)
96" GREY SAND W/SILT (2,000 PSF)
- B-6 SURFACE=881.2 WATER @ 873.0
2" PAVEMENT
11" BASE
24" FILL
30" LEAN CLAY
30" GREY LEAN CLAY
60" GREY SILT SAND, DENSE 2,000 PSF
- B-7 SURFACE=881.5 WATER @ 874.0
3.5" BIT. PAVE
16.5 BASE GRAVEL
15" BROWN SAND
30" GREY CLAY
30" CLAYEY SAND WITH GRAVEL DENSE
30" SILTY SAND WET/ DENSE 3,000 PSF

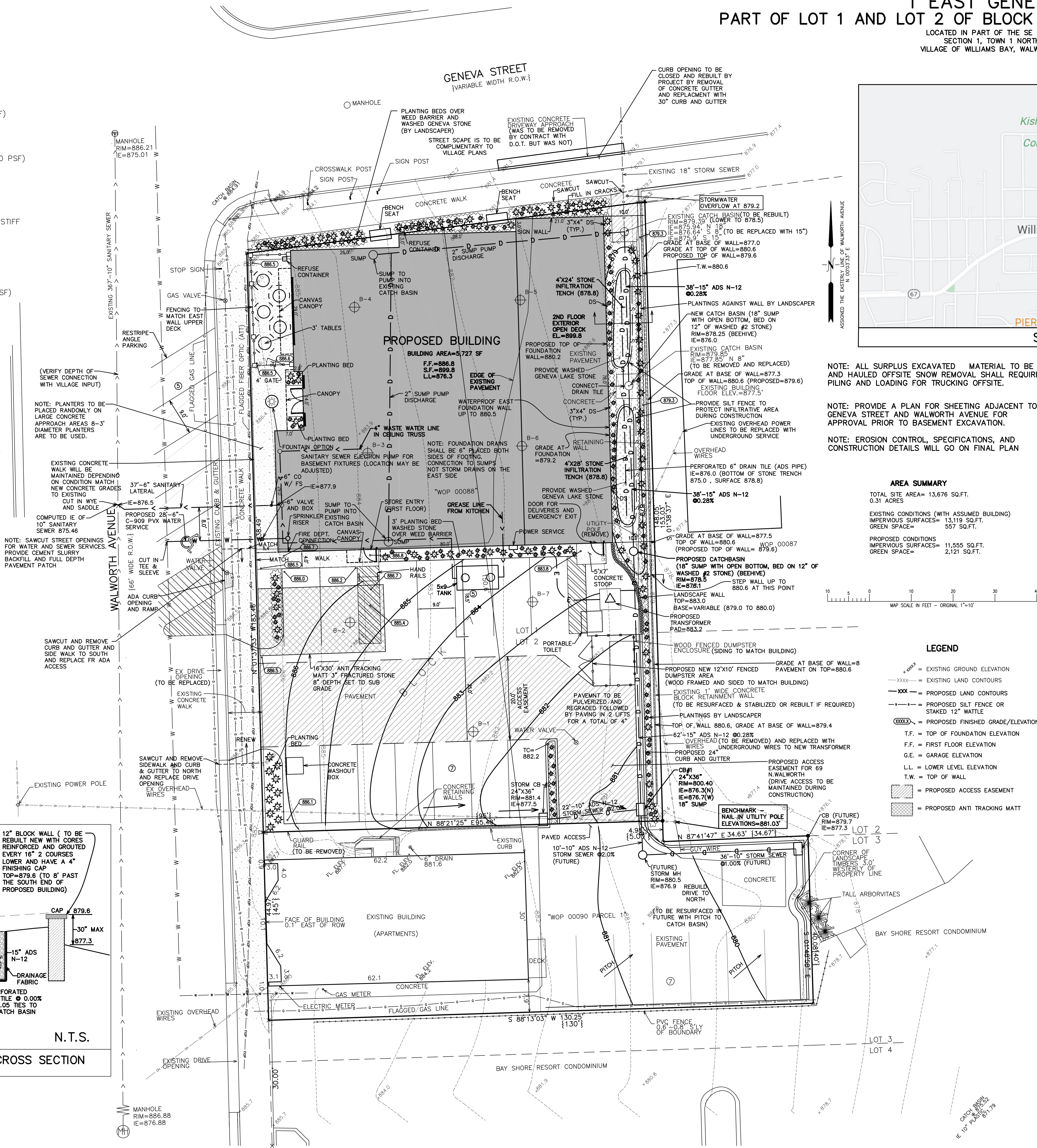
SOIL CONTAMINATION

PHASE 1 – ENVIRONMENTAL WORK HAS BEEN COMPLETED IN RECENT YEARS FOR THE SITE AND THE REPORT MAKES NO RECOMMENDATIONS. FOR CONTINUING INTO PHASE 2 STUDY WHEN EXCAVATIONS ARE BEING DONE OBSERVATIONS FOR ANY POSSIBLE CONTAMINATIONS SHALL BE MADE. IF ANYTHING CONTAMINATES SHALL BE MADE. IF ANY THIN IS FOUND REMEDIAL ACTIONS WILL BE REQUIRED.

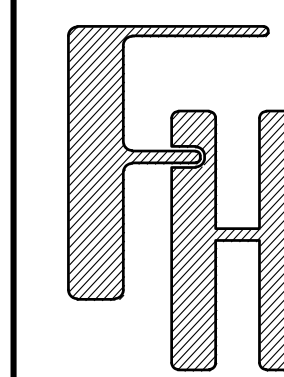


N.T.S.

STONE INFILTRATION TRENCH CROSS SECTION



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PROPOSED BUILDING
1 EAST GENEVA CENTER
EAST GENEVA STREET & WALWORTH AVENUE
WILLIAMS BAY, WALWORTH CO., WISCONSIN

WEST ELEVATION
NORTH ELEVATION

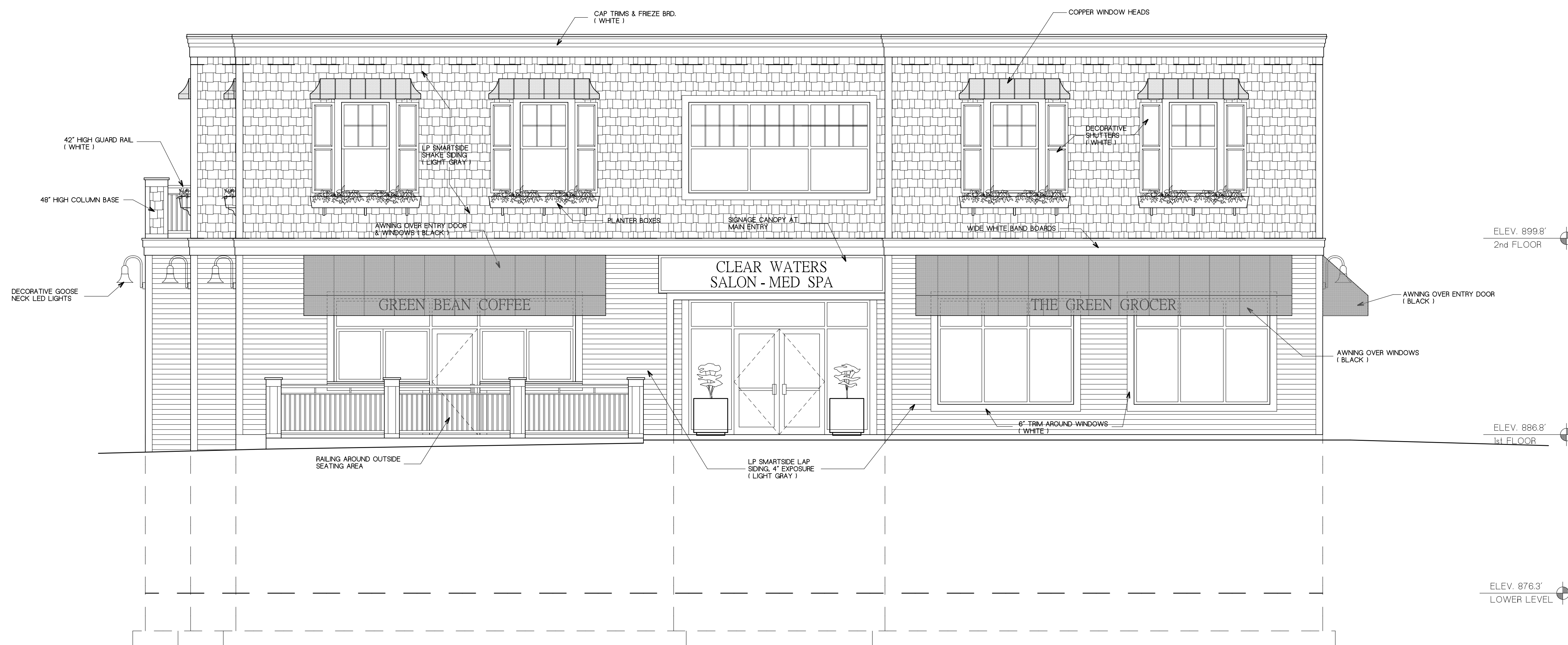
FARRIS, HANSEN & ASSOCIATES, INC.
Engineering, Architecture, Surveying
7 Ridgeway Court P.O. Box 437
ELKHORN, WISCONSIN 53121
Office: (262) 723-2098
Fax: (262) 723-5966

REVISIONS
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RS 06/09/2023

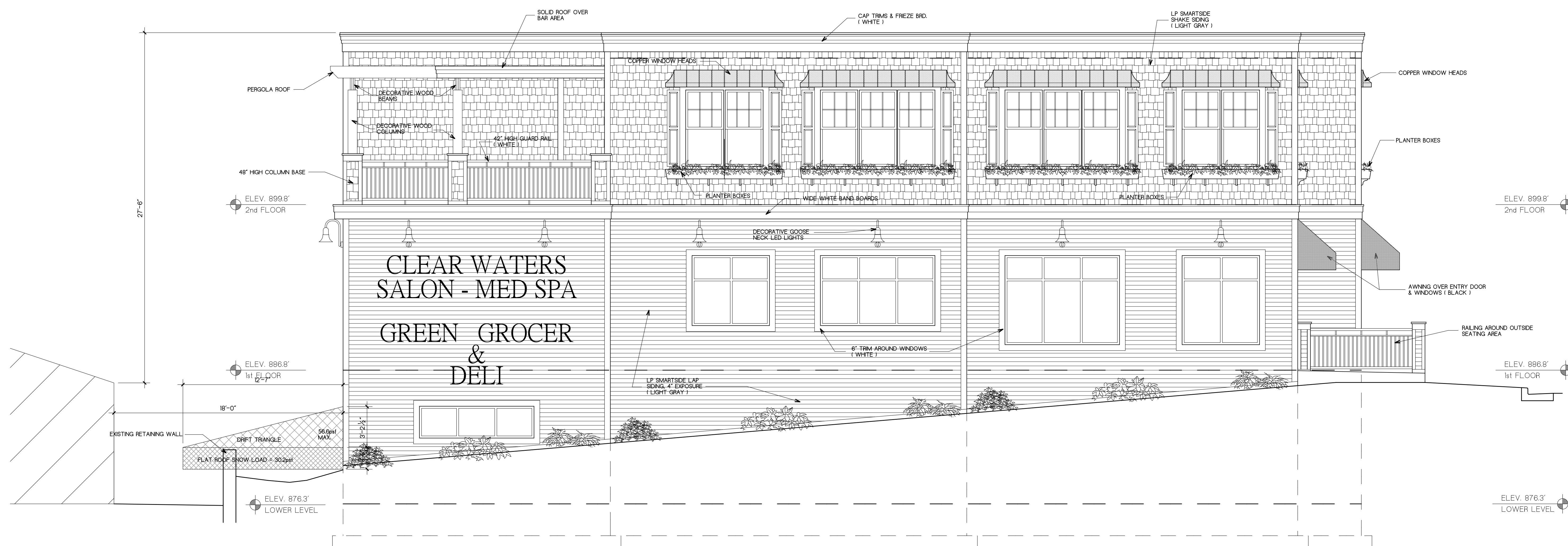
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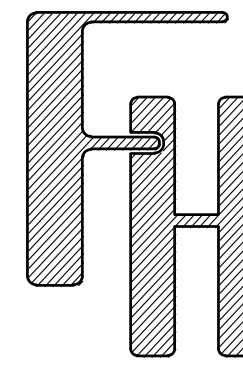
SHEET NO:
2 of 6



WEST ELEVATION
SCALE: 1/4\"/>



NORTH ELEVATION
SCALE: 1/4\"/>



PROPOSED BUILDING
1 EAST GENEVA CENTER
EAST GENEVA STREET & WALWORTH AVENUE
WILLIAMS BAY, WALWORTH CO., WISCONSIN

EAST ELEVATION
SOUTH ELEVATION

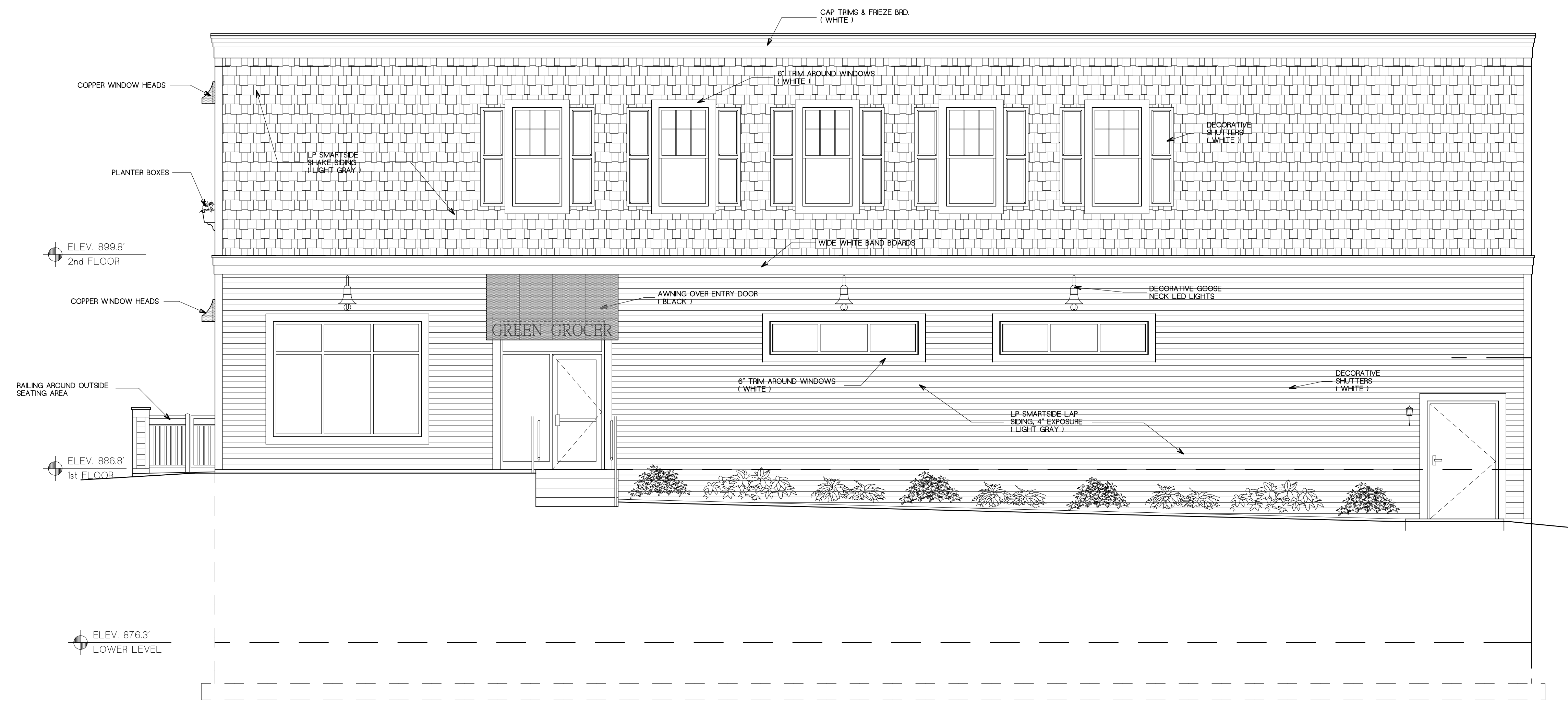
FARRIS, HANSEN & ASSOCIATES, INC.
Engineering, Architecture, Surveying
7 Ridgeway Court P.O. Box 437
ELKHORN, WISCONSIN 53121
Office: (262) 723-2098
Fax: (262) 723-5866

REVISIONS
REV 44 - MISD REVISIONS
RS 06/09/2023

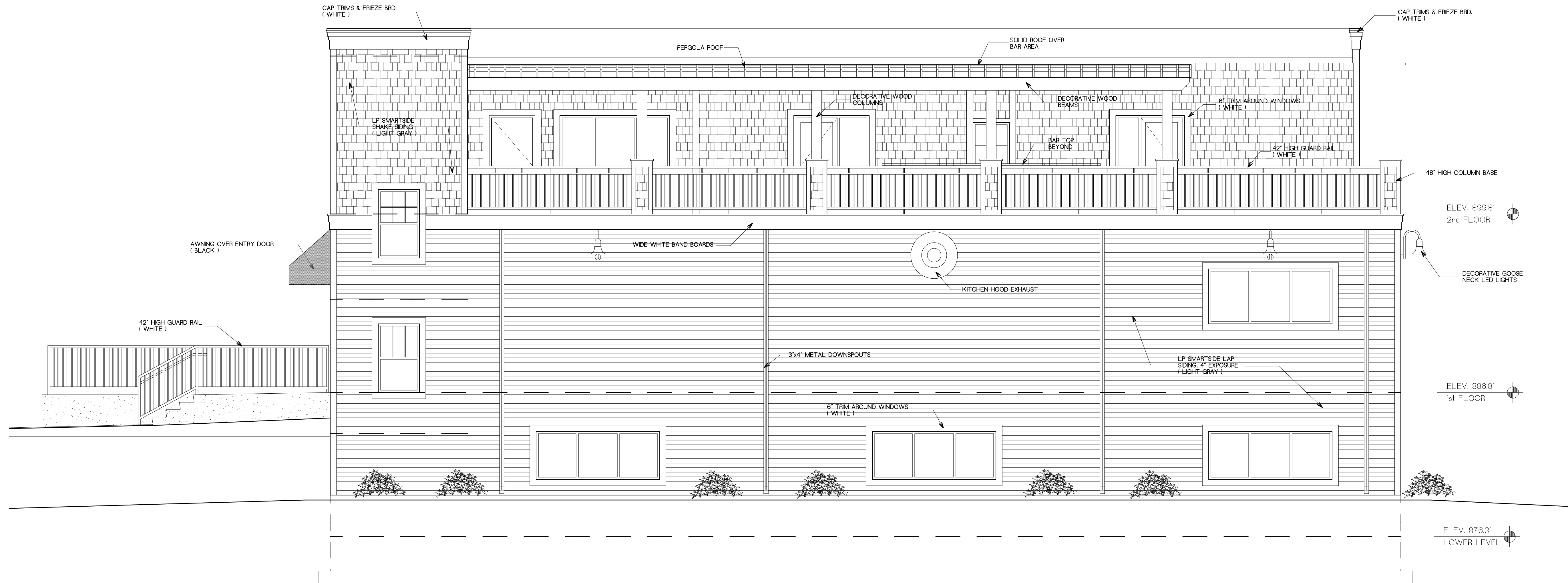
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3052KEG23

DATE
05/30/2023

SHEET NO.
3 of 6

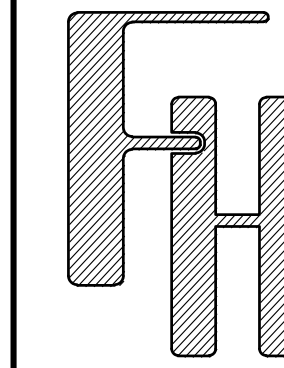
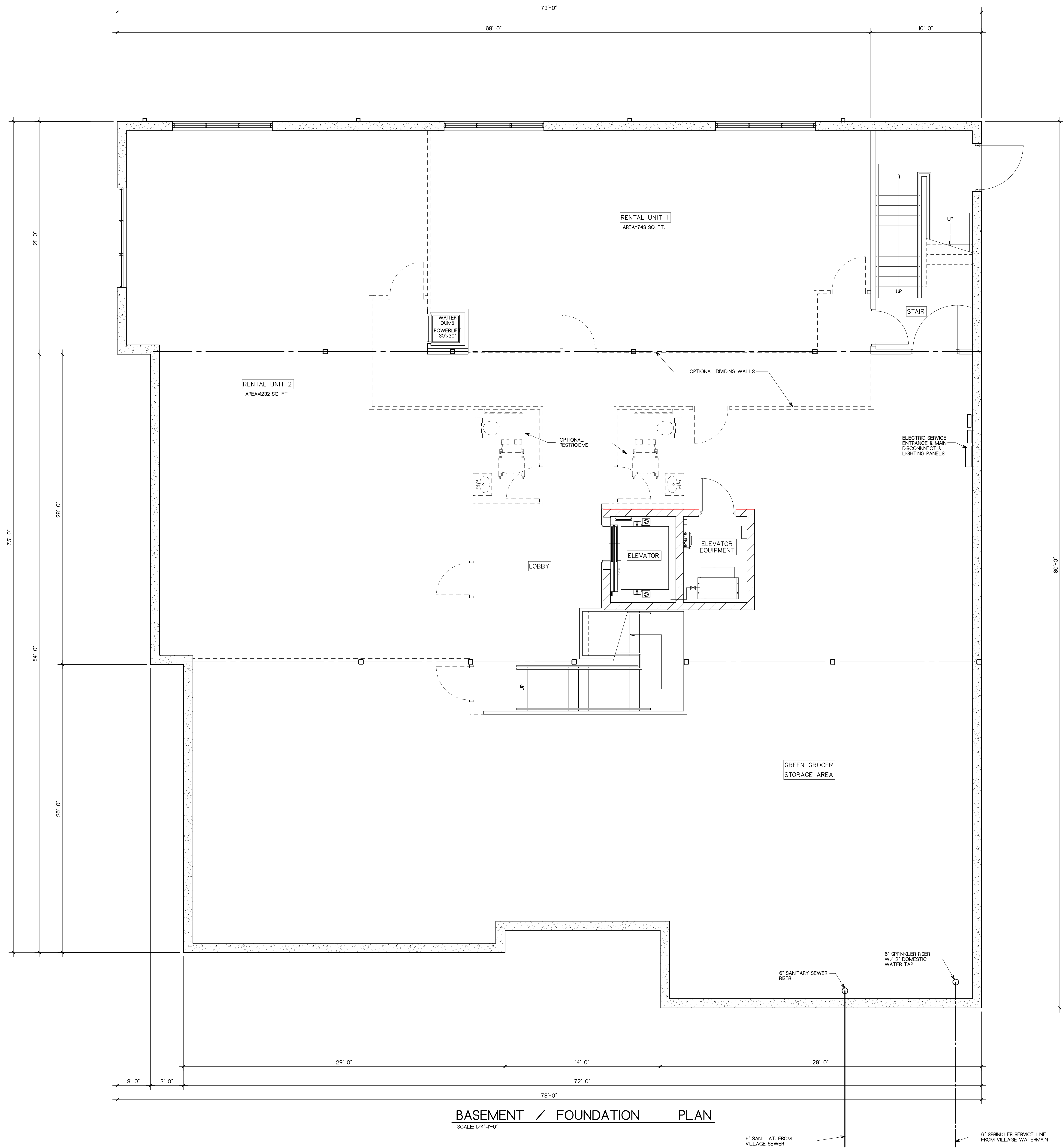


SOUTH ELEVATION
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EAST ELEVATION
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PROPOSED BUILDING
1 EAST GENEVA CENTER
EAST GENEVA STREET & WALWORTH AVENUE
WILLIAMS BAY, WALWORTH CO., WISCONSIN

BASEMENT / FOUNDATION PLAN

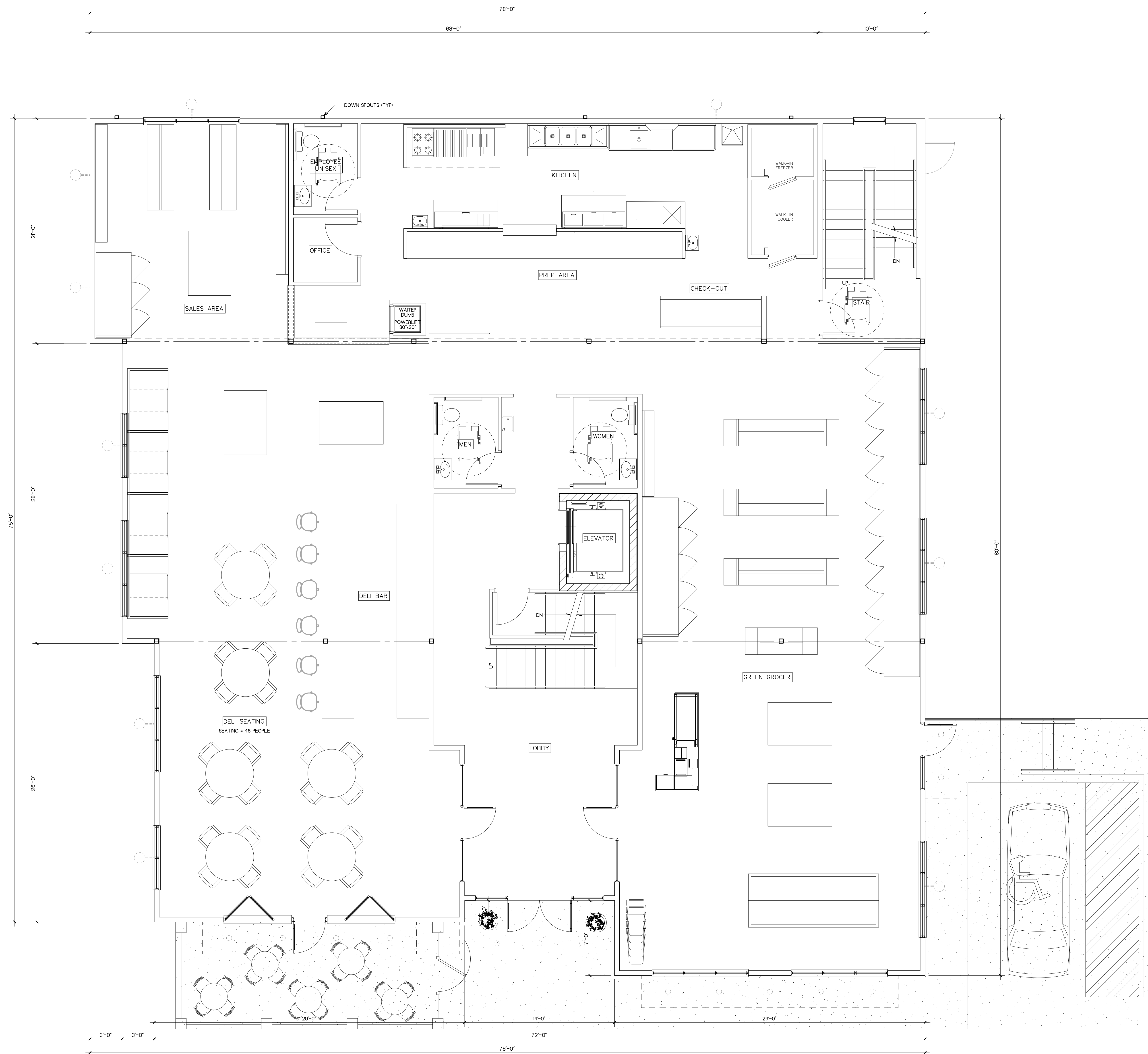
FARRIS, HANSEN & ASSOCIATES, INC.
Engineering, Architecture, Surveying
7 Ridgeway Court P.O. Box 437
ELKHORN, WISCONSIN 53121
Office: (262) 723-2098
Fax: (262) 723-5866

REVISIONS
REV 44 - MISD REVISIONS
RS 08/09/2023

PROJECT NO.
3052KEG.23

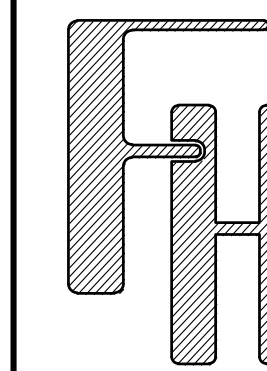
DATE
05/30/2023

SHEET NO.
4 of 6



FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"



PROPOSED BUILDING
1 EAST GENEVA CENTER
EAST GENEVA STREET & WALWORTH AVENUE
WILLIAMS BAY, WALWORTH CO., WISCONSIN

EAST GENEVA STREET & WALWORTH AVENUE
WILLIAMS BAY, WALWORTH CO., WISCONSIN

FIRST FLOOR PLAN

FARRIS, HANSEN & ASSOCIATES, INC.
Engineering, Architecture, Surveying
7 Ridgway Court P.O. Box 437
ELKHORN, WISCONSIN 53121
Office: (262) 723-2098
Fax: (262) 723-5996

REV #4 - MISC REVISIONS
BS 08/01/2023

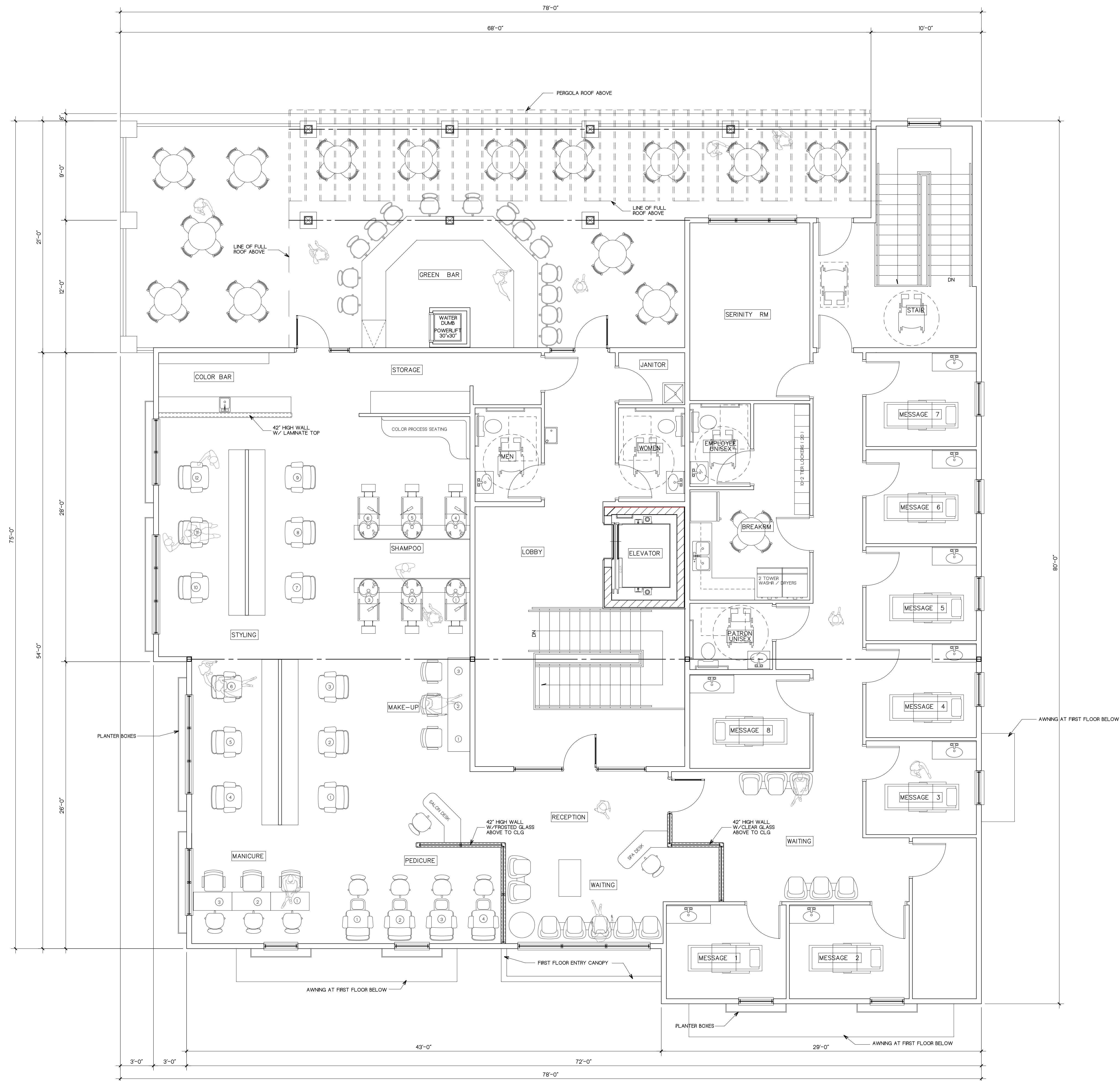
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DATE
05/30/2023

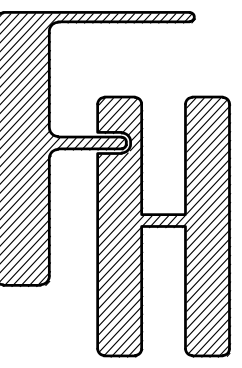
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5 of 6

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SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"



PROPOSED BUILDING
1 EAST GENEVA CENTER
EAST GENEVA STREET & WALWORTH AVENUE
WILLIAMS BAY, WALWORTH CO., WISCONSIN

SECOND FLOOR PLAN

FARRIS, HANSEN & ASSOCIATES, INC.
Engineering, Architecture, Surveying
7 Ridgeway Court P.O. Box 437
ELKHORN, WISCONSIN 53121
Office: (262) 723-2098
Fax: (262) 723-5866

REVISIONS
REV 44 - MISC REVISIONS
RS 06/01/2023

PROJECT NO:
3052KEG.23

DATE:
05/30/2023

SHEET NO:
6 of 6

From: Rachel Rockwell <rrockwell1998@gmail.com>

Sent: Saturday, March 15, 2025 10:40 AM

To: David Lothspeich <admin@vi.williamsbay.wi.gov>; Bill Duncan <bduncan@vi.williamsbay.wi.gov>; Jim Dalessandro <jdalessandro@vi.williamsbay.wi.gov>; Adam Jaramillo <ajaramillo@vi.williamsbay.wi.gov>; Robert Umans <rumans@vi.williamsbay.wi.gov>; George Vlach <gvlach@vi.williamsbay.wi.gov>; Lowell Wright <lwright@vi.williamsbay.wi.gov>; Steven Russell <srussell@vi.williamsbay.wi.gov>; Maggie Gage <maggiegage1@gmail.com>

Subject: New Green Grocer Building

Good morning.

I am not overly familiar with all of the details for the development of the new commercial building on the corner of 67 and Walworth Ave. However, it is my understanding that at the last Planning Commission meeting, which I did not attend, the developer requested a number of variances regarding signage, awnings, flower boxes, and other finishing details that were tabled by the Commission before making any decisions. I was with friends at Green Grocer yesterday and thought I would share with you what we discussed, as well as the attached inspiration photo, for your consideration prior to issuing a final approval. This new building is the talk of our small town and not necessarily in a good way.

Downtown Williams Bay seems to be struggling with its identity. As the historical buildings age into disrepair, new developers will come in, and because of the cost to infrastructure, have the desire to not create the same level of charm. The finishing details on this boxy building are critical to establishing the identity of the downtown area. In addition, this building will directly impact future development, play a central role in attracting new businesses, and attracting tourists and local shoppers to the area.

My suggestions, assuming it is not too late for your consideration, are;

1. Require the awnings.
2. Require the flower boxes with seasonal flowers.
3. Require some type of material be used to block the commercial grade vent on the back side of the building from the view off of 67 and E Geneva Street, it is unsightly.
4. Per the photo, require black signage with gold historical font lettering.
5. On the lower level of the building, require historical lantern type lighting.
6. Per the photo, require consistent brand decaling on the lower level windows.

These final details will help keep the building from appearing as though it is a real estate building in Florida. Please consider the attached photo when future development comes to the downtown area to tie in historical charm with modern development.

I do not have all of the Plan Commission commissioner's email addresses and would appreciate it if you would please forward this email to anyone I have missed. I apologize in advance if the tone of some of these suggestions come across as harsh. This can be a difference between direct conversations and emails. I appreciate your time and

consideration of these suggestions. Thank you so much for everything you do for the community.

Kind Regards,
Rachel Rockwell

*Village of Williams Bay, WI
Monday, April 28, 2025*

Chapter 281. Public Waters and Beaches

Article I. General Regulations

§ 281-12. Commercial use of launch area.

- A. Definition. As used in this section, the following terms shall have the meanings indicated:

COMMERCIAL USE

A person using the Village municipal launch parking area and ramp as a bulk handling area for the loading or unloading of construction materials from or onto watercraft from or to locations on Geneva Lake. Such construction materials include building materials, landscaping materials, earth, stone, timbers and pier lumber.

- B. Prohibition. The commercial use of the Williams Bay municipal launch parking area and ramp is prohibited without a permit. Every person shall obtain a permit prior to the commercial use of the Williams Bay municipal launch parking area and ramp. The permit shall be issued by the Village Clerk upon the filing of an application and the payment of the required fee. The application shall contain the name, address, telephone number and gross vehicle weight of the loads proposed to be handled by the commercial user at the municipal launch parking area and ramp. The exact nature, including the weight thereof, of the construction materials to be handled and the equipment proposed for handling, must be stated in the application. The applicant is responsible for all damage to the Village-owned launch facility, including the pier, parking lot and ramp area, and will promptly reimburse the Village for any such damages. Any violation of this provision will result in the immediate revocation of the permit, the commencement of an action for the imposition of the standard penalties of this Code and/or an action for money damages.

COMMERCIAL BOAT LAUNCH FEE ISSUE LEGAL OPINION SUMMARY

If the Department has not provided any grants for acquisition, development, maintenance or improvement to this public boat launch site, the entity owning this launch site does not need to comply with s. NR 1.91, Wis. Admin Code, unless the site is subject to another WDNR decision of the types cited in s. NR 1.91(1), Wis. Admin. Code. Department funding, permitting, and/or any other type of Department decision can be the event that makes s. NR 1.91, Wis. Admin. Code requirements apply to a public boating access site, and if s. NR 1.91, Wis. Admin. Code applies, the site owner may only impose launch fees as allowed under s. NR 1.91(11), Wis. Admin. Code for any parking and access area subject to s. NR 1.91, Wis. Admin. Code. If residents launch for free, everyone must be able to launch for free; if residents pay a launch fee, the launch fee for non-residents may not be more than 150% of the resident's fee.

The Department has determined that municipalities owning public boat launches cannot charge higher fees based on whether the person using the public boat ramp is engaging in recreational or commercial uses. Commercial as well as noncommercial use of navigable waters is protected by the Public Trust doctrine. S. 30.77, Stats., and s. NR 1.91(11), Wis Admin. Code do not distinguish between commercial and non-commercial users or allow surcharges based on commercial use of the launch. s. NR 1.91(11)(e) limits launch fees for all users to the base fee and any Department approved surcharges and differential residency fee specified in s. NR 1.91(11). Whether the person using the launch is engaged in commercial or recreational use is not included in the rule as a consideration for higher fees or a surcharge.

A municipality owning a public boat launch cannot flatly prohibit a member of the public from using the public boat launch for commercial purposes; however, the municipality may develop policies that help them manage the facility more effectively; for example, limiting the time a boat is moored at the launch, use of open rental slips, or charging for damage or excessive wear and tear. S. 30.77, Stats., and ss. NR 1.90 and 1.91, Wis. Admin. Code regulate public access to navigable waters, and apply only to the public access facilities (the boat launch, launch piers, and associated parking and restrooms, etc.). Department authority to regulate public access does not extend to use and operation of the marina (boat slips, piers) and other facilities (marina parking area, etc.). A municipality may also set policy as to whether a person who owns several boats could launch all his or her boats with one season pass or if a season pass would be needed for each boat. S. NR 1.91 does not specifically address this issue, but the Department believes that a "one pass/one boat" (like state park season windshield stickers) requirement is probably simplest to administer.

If the commercial use essentially monopolizes the site for a period of time, then the launch owner may want to consider drafting an ordinance that provides for time limits or time-of day restrictions or that charges the user a reasonable fee for rental of the site. We believe that a launch owner may also be able to prohibit use of the boat ramp by boats above a specified weight and/or size if it is clear that those boats would cause damage or excessive wear and tear on the boat ramp. We believe that this is an allowable restriction to prevent damage to the property. Since such restrictions could be challenged, any ordinance imposing limits or rental fees should be supported by facts showing that the regulations are reasonably necessary to address public health or safety concerns or to protect against harm to public property. Launch owners considering such restrictions should consult with their counsel and should consider making the restrictions as least restrictive as possible to alleviate or minimize the impact on the access to navigable waters. The restrictions should be consistent with statute and code, consistently applied to all users, and not a significant deterrent to those who are entitled to access the public waters of Wisconsin.

MAXIMUM DAILY BOAT LAUNCHING FEES INLAND WATER FACILITIES

- A. Base Fee = \$13.00**
B. Surcharge for facility with restroom or attendant = \$13.00 x 0.20 = \$2.60
C. Surcharge for facility with restroom and attendant = \$13.00 x 0.40 = \$5.20
D. Surcharge for boat length of at least 20 ft but less than 26 ft = .30; \$13.00 x 0.30 = \$3.90
E. Surcharge for boat length of 26 ft or greater = .60; \$13.00 x .60 = \$7.80

Non-motorized or non-trailerred watercraft (Resident and Non-resident boaters):

Base Fee	\$13.00
Base Fee plus tax*	\$13.75 (A + \$0.72 (tax on \$13.00) = \$13.72, rounded to nearest \$0.25)

Motorized Boats under 20 feet in length (the following fees cover both Resident and Non-resident boaters. Fees for non-residents may not exceed 150% of the fee charged a resident, and non-resident fees may not exceed the maximum allowable amounts for boats under 20 feet):

Base Fee	\$13.00
Base Fee plus tax*	\$13.75 (A + \$0.72 (tax on \$13.00) = \$13.72, rounded to nearest \$0.25)
Facility w/restroom <u>or</u> attendant	\$15.50 (A + B = \$15.60, rounded to nearest \$0.25)
Facility w/restroom <u>or</u> attendant plus tax*	\$16.25 (\$15.50 + \$0.85 (tax on \$15.50) = \$16.35, rounded to nearest \$0.25)
Facility w/restroom <u>and</u> attendant	\$18.25 (A + C = \$18.20, rounded to nearest \$0.25)
Facility w/restrooms <u>and</u> attendant, plus tax*	\$19.25 (\$18.20 + \$1.00 (tax on \$18.25, rounded to nearest \$0.25)

Motorized boats 20 feet in length or more but less than 26 feet (the following fees cover Resident boaters only; non-residents can be charged a differential fee of 150% for this category of boats):

Base Fee plus length surcharge	\$17.00 (A + D = \$16.90, rounded to nearest \$0.25); Non-resident = \$25.50
Base Fee plus length surcharge plus tax*	\$18.00 (\$17.00 + \$0.94 (tax on \$17.00) = \$17.94, rounded to nearest \$0.25); Non-resident = \$27.00
Facility w/restroom <u>or</u> attendant	\$19.50 (A + D + B = \$19.50); Non-resident = \$29.25
Facility w/restroom <u>or</u> attendant plus tax*	\$20.50 (\$19.50 + \$1.07 (tax on \$19.50) = \$20.57, rounded to nearest \$0.25); Non-resident = \$30.75
Facility w/restroom <u>and</u> attendant	\$22.00 (A + D + C = \$22.10, rounded to nearest \$0.25); Non-resident = \$33.00
Facility w/restrooms <u>and</u> attendant, plus tax*	\$23.25 (\$22.00 + \$1.21 (tax on \$22.00) = \$23.21, rounded to nearest \$0.25); Non-resident = \$35.00

Motorized boats 26 feet in length or greater (the following fees cover Resident boaters only; non-residents can be charged a differential fee of 150% for this category of boats)

Base Fee plus length surcharge	\$20.75 (A + E = \$20.80); Non-resident = \$31.25
Base Fee plus length surcharge plus tax*	\$22.00 (\$20.75 + \$1.14 (tax on \$20.75) = \$21.89, rounded to nearest \$0.25); Non-resident = \$33.00
Facility w/restroom <u>or</u> attendant	\$23.50 (A + E + B = \$23.40, rounded to nearest \$0.25); Non-resident = \$35.25
Facility w/restroom <u>or</u> attendant plus tax*	\$24.75 (\$23.50 + \$1.29 (tax on \$23.50) = \$24.79, rounded to nearest \$0.25); Non-resident = \$37.25
Facility w/restroom <u>and</u> attendant	\$26.00 (A + E + C = \$26.00); Non-resident = \$39.00
Facility w/restrooms <u>and</u> attendant, plus tax*	\$27.50 (\$26.00 + \$1.43 (tax on \$26.00) = \$27.43, rounded to nearest \$0.25); Non-resident = \$41.25

Notes about launch fees:

- The governance of launch fees is covered under section NR 1.91(11), Wisconsin Administrative Code.
- All fees listed above use the \$13.00 maximum Base Fee, which is based on the \$13.00 Daily State Park Entrance Fee for residents. You may set a lower Base Fee based upon local needs. Section NR 1.91(11)(e), Wis. Adm. Code, requires that before a local unit of government adopts a launch fee exceeding \$13.00, it must submit the fee schedule to the Department for approval and include information demonstrating: (a) that it maintains facilities or services that justify charges exceeding \$13.00; and (b) that season passes are available.
- Fees collected by the operating authority shall be used only for the operation and maintenance of boat launching facilities.
- Parking is included with launch fees. Segregated fees for parking are not allowed.
- If a launch fee is charged, a season pass at a fee not to exceed 10 times the daily fee shall be provided for both residents and non-residents.
- In no case shall the fee charged a non-resident exceed 150% of the fee charged a resident.

*Tax rate used = 5.5%. An operating authority may incorporate the state sales tax into the Base Fee for ease of collection, but must pay the sales taxes collected to the Wisconsin Department of Revenue.



MEMORANDUM

DATE: MAY 5, 2025
TO: VILLAGE TRUSTEES
FROM: TINA KOLLS, VILLAGE CLERK
RE: OPERATOR LICENSE APPLICATIONS

The following License applications have been filed with the Village Clerk.

All applications have completed a records check, and PASS/FAIL suggestions have been made by the Williams Bay Police Department based on their findings.

Original/ Renewal	Name	Address	Establishment	Record Check
R	Dennis Skilling	Delavan, WI	Mobil	P
R	Raymond Hobson	Walworth, WI	Mobil	P
R	Amy Yachik	Elkhorn, WI	Harpoon Willie's	P



Proclamation

*National Police Week
Peace Officers' Memorial Day
May 11 - 17, 2025*

WHEREAS, the police officers of Williams Bay have worked devotedly and unselfishly on behalf of the people of this community, regardless of peril or hazard to themselves; these officers have safeguarded the lives and property of all in Williams Bay; and by their service and their dedicated efforts, these men and women have earned the gratitude of the Village of Williams Bay; and

WHEREAS, in 1962, President John F. Kennedy was authorized by Congress to proclaim May 15th of each year as "National Peace Officers Memorial Day" in honor of all peace officers who have been killed or disabled in the line of duty; and

WHEREAS, the Presidential Proclamation also designated that each year the calendar week in which May 15th occurs or precedes shall be proclaimed as "Police Appreciation Week" in recognition of the service given by the men and women who, day and night, stand guard in our communities, and proclaim May 15, 2025, as "Peace Officers Memorial Day."

NOW, THEREFORE, I, Adam Jaramillo, President of the Village of Williams Bay do hereby proclaim the week of May 11-17, 2025, as "Police Appreciation Week" in the Village of Williams Bay and encourage all citizens to observe the week with law enforcement officers, past and present, who, by their faithful and loyal devotion to their responsibilities, have rendered a dedicated service to their communities, and proclaim May 15, 2025, as "Peace Officers Memorial Day" in honor of those law enforcement officers who, through their courageous deeds, have made the ultimate sacrifice in service to their community or have become disabled in the performance of duty.

Given under my hand and seal of the Village of Williams Bay this 5th Day of May, 2025.

Signed: _____ Attest: _____



Proclamation

56th ANNUAL PROFESSIONAL MUNICIPAL CLERKS WEEK

May 4 - May 10, 2025

Whereas, The Office of the Professional Municipal Clerk, a time honored and vital part of local government exists throughout the world, and

Whereas, The Office of the Professional Municipal Clerk is the oldest among public servants, and

Whereas, The Office of the Professional Municipal Clerk provides the professional link between the citizens, the local governing bodies and agencies of government at other levels, and

Whereas, Professional Municipal Clerks have pledged to be ever mindful of their neutrality and impartiality, rendering equal service to all.

Whereas, The Professional Municipal Clerk serves as the information center on functions of local government and community.

Whereas, Professional Municipal Clerks continually strive to improve the administration of the affairs of the Office of the Professional Municipal Clerk through participation in education programs, seminars, workshops and the annual meetings of their state, provincial, county and international professional organizations.

Whereas, It is most appropriate that we recognize the accomplishments of the Office of the Professional Municipal Clerk.

Now, Therefore, I, Adam Jaramillo, Village President of Williams Bay, do recognize the week of May 4 through May 10, 2025, as Professional Municipal Clerks Week, and further extend appreciation to our Professional Municipal Clerk, Tina Kolls and to all Professional Municipal Clerks for the vital services they perform and their exemplary dedication to the communities they represent.

Dated this 5th day of May, 2025

Signed: _____ Attest: _____

Village of Williams Bay
Resolution Recognizing Harold Friestad as
Chairman Emeritus of Kishwaukee Nature Conservancy

WHEREAS, Harold Friestad was instrumental in enabling the Village of Williams Bay to obtain, restore and preserve the property now known as Kishwaukee Nature Conservancy for the benefit of the community for generations to come; and

WHEREAS, Harold Friestad has served as a board member of Kishwaukee Nature Conservancy since 1997 and Chairman of the Board from 2006 to 2024; and

WHEREAS, during his tenure as Chairman, he has provided outstanding leadership, guidance, and vision, contributing significantly to the success of Kishwaukee Nature Conservancy; and

WHEREAS, Harold Friestad has demonstrated unwavering commitment to the mission of Kishwaukee Nature Conservancy, protecting the Geneva Lake watershed and providing residents of Walworth County an opportunity to enjoy and learn about this extraordinary natural environment; and

WHEREAS, the Village of Williams Bay and Board of Directors of Kishwaukee Nature Conservancy wishes to acknowledge and honor Harold Friestad's distinguished service and invaluable contributions;

NOW, THEREFORE, BE IT RESOLVED, that the Village of Williams Bay and Board of Directors of Kishwaukee Nature Conservancy hereby confers upon Harold Friestad the title of **Chairman Emeritus**, in recognition of his past service and with the sincere appreciation of the entire Board; and

BE IT FURTHER RESOLVED, that this honorary title shall entitle Harold Friestad to privileges, including attending board meetings without voting rights, providing continuing guidance and consultation to the board, being an ambassador for Kishwaukee Nature Conservancy and participating in Kishwaukee events; and

BE IT FURTHER RESOLVED, that this resolution be made a part of the official records of the Village of Williams Bay and the Kishwaukee Nature Conservancy and that a copy be presented to Harold Friestad as a token of our gratitude and esteem.

PASSED AND ADOPTED this [Day] day of [Month], [Year].

Williams Bay Village President

Chair of the KNC Board

**Zoning Administration and Land Division Services Contract between the Village
of Williams Bay and Municipal Code Enforcement, LLC**

THIS AGREEMENT is between the **Village of Williams Bay, 250 Williams Street Williams Bay, WI 53191** (hereinafter “**Village**”) and **Municipal Code Enforcement, LLC, PO Box 62, Delavan, Wisconsin, 53115**, (hereinafter “**MCE**”) effective this _____ day of _____, 2025.

RECITALS:

WHEREAS, the Village requires zoning and land division administration services; and

WHEREAS, MCE maintains an agency that regularly enforces and administers municipal and zoning codes and land division ordinances for various municipalities, providing services that include, but are not limited to, review of the municipal code, response to property zoning complaints, completion of zoning inspections, preparation of written orders, preparation and issuance of citations, review of zoning and land division applications, preparation and review of staff recommendations, and other miscellaneous zoning and land division administration activities; and

WHEREAS, the Village and MCE desire to contract with each other for such zoning and land division administration services as set forth herein, to be provided by MCE to the Village; and

WHEREAS, the Village agrees to compensate MCE at the rate set forth herein for performing these services.

NOW THEREFORE, for valuable consideration, and with the express intention on the part of both parties that this contract is legally binding, the parties do agree to the following:

1.) SCOPE OF SERVICES – MCE agrees to serve as zoning administrator and provide the Village with the following services:

- **Zoning and Land Division Administration, Violation Monitoring, and Enforcement**
 - Applications for Zoning Permits
 - Planning Requests
 - Site Plan and Architectural Review
 - Conditional Use Permit
 - Rezoning
 - Land Use Amendment
 - Planned Unit Development
 - Preliminary Plat
 - Final Plat
 - Certified Survey Map

- Project Concept Review
- Conceptual Land Division
- Joint Conditional Use & Rezoning
- Joint Rezoning and Certified Survey Map
- Extraterritorial Zoning Board
- Subdivision advisory assistance
- Zoning Board of Appeals/Adjustment
- Recommendations to Plan Commission
- Other miscellaneous reviews as requested by Village staff.
- Office hours shall be:
 - Two (2), 4-hour days per week

2.) DUTIES – MCE shall perform the zoning and land division administration services set out in the Scope of Services above for the Village. MCE’s jurisdiction shall be concurrent with the Village’s boundaries including extraterritorial boundaries. Within said jurisdiction, and in the performance of those duties, MCE shall have the full lawful authority and responsibility to enforce the Code and issue citations, specific Chapters and Sections of the Code, including ordinances for which a statutory counterpart exists. MCE’s agents and employees shall not have the authority to make arrests for violations of the Code. It is specifically the intent of the parties that MCE is not a law enforcement officer within the meaning of Wis. Stat. § 165.85(2)(c). MCE shall cooperate with the Village’s Police Department in investigating and issuing citations and other pursuing other enforcement activity as needed by the Village’s Police Department to complete matters originating with MCE’s investigative and Code enforcement duties.

3.) HOURS AND COMPENSATION – Unless otherwise agreed upon by both parties, MCE shall provide no more than **14 hours per week** in zoning administration services and shall be compensated at the rate of **\$52 per hour**. As part of these 14 hours per week, MCE shall provide regular office hours for 8 hours per week at the Village Hall of the Village each Tuesday from 1:00 p.m. to 5:00 p.m. and each Thursday from 9:00 a.m. to 1:00 p.m.

MCE shall send the Village an invoice every month detailing the number of hours provided and the amount owed. If an automatic renewal of this contract is enacted, as detailed below, this hourly rate shall increase by 3%, rounded to the nearest dollar, for each year that the automatic renewal takes place.

4.) TERMS OF CONTRACT – This contract shall begin **May _____, 2025** and end on **April 30, 2026**. This contract shall automatically renew upon reappointment as zoning administrator, unless an amendment or subsequent contract is executed by both parties, no less than 60 days before the contract end date. The term of the renewal contract shall be one year.

5.) DOCUMENTS AND OPEN RECORDS REQUESTS – All documents produced by MCE in the course of its performance under this contract shall be deemed to be records of the Village and shall be turned over to the Village upon request or upon termination of this contract for any reason. In the event of an open records request that implicates records that MCE possesses or has access to, MCE shall provide the requested records to the Village of Williams Bay within five (5) business days of written request to MCE.

7.) TERMINATION WITHOUT CAUSE – Notwithstanding the contract term specified in this contract, both the Village and MCE shall have the right to terminate this contract, without cause, by giving **90 days' written notice** to the other party.

8.) TERMINATION WITH CAUSE – Notwithstanding the contract term specified in this contract, the Village of Williams Bay shall have the right to terminate the contract with cause, in whole or in part, if it determines that MCE has failed to perform satisfactory work. In the event the Village decides to terminate the contract for failure to perform satisfactorily, the Village shall provide MCE at least thirty (30) days' written notice prior to the date of termination.

If the contract is terminated with cause, MCE shall be entitled to receive compensation for all reasonable, allocable and allowable contract services satisfactorily performed by MCE up to the date of termination that were accepted by the Village.

9.) INSURANCE – MCE shall at its own expense, procure and maintain the following insurance coverage and shall provide a certificate of insurance to the Village Clerk verifying these coverages, including any required endorsements or riders, during the term of this contract:

- General Liability – One Million Dollars (\$1,000,000.00) combined single limit and Two Million Dollars (\$2,000,000.00) aggregate for bodily injury, personal injury, and property damage.
- Automobile Liability Insurance
- The Village of Williams Bay shall be named as an additional insured on MCE's insurance policies, on a primary and non-contributory basis, with subrogation rights against the Village waived.

10.) INDEPENDENT CONTRACTOR – It is agreed and understood between the parties that MCE is an independent contractor. MCE is not an employee of the Village of Williams Bay and shall not be entitled to any benefits enjoyed by employees of the Village. MCE remains in control of all of its employees, including but not limited to hiring, firing, discipline, evaluation, and establishment of standards for performance thereof. All MCE personnel rendering services hereunder shall be, for all purposes, employees of MCE, although they may act as officers or agents of the Village while acting within the scope of the services performed under this contract.

11.) INDEMNIFICATION – To the fullest extent permitted by law, MCE shall defend, indemnify, and hold harmless the Village, its elected and appointed officials, employees, consultants, and volunteers and others working on behalf of the Village, from and against any and all third-party claims, demands, suits, costs (including reasonable legal costs), expenses, and liabilities (“Claims”) alleging personal injury, including bodily injury or death, and/or property damage, but only to the extent that any such Claims are caused by the mistake, error, omission or negligence of MCE, or by any officer, employee, representative, or agent of MCE or the material breach of any obligation under this contract by MCE, or by any officer, employee, representative, or agent of MCE. MCE shall have no obligations under this section to the extent that any Claim arises as a result of MCE’s compliance with specific municipal laws, ordinances, rules, regulations, resolutions, executive orders, or other instructions received from the Village and lawfully and properly carried out by MCE. If either party becomes aware of any incident likely to give rise to a Claim under the above indemnities, it shall notify the other and both parties shall cooperate fully in investigating the incident. Nothing herein shall be construed to be a waiver of statutory liability immunity provided by Wisconsin Statutes and caselaw. This indemnification is further limited by the amounts of statutory limits of municipal liability provided by Wisconsin Statutes and caselaw.

12.) APPLICABLE LAW – This contract shall be governed in all respects by the law of the State of Wisconsin, and any litigation with respect thereto shall be brought in the courts of the State of Wisconsin.

13.) SEVERABILITY – If any term or provision in this contract is determined to be illegal, unenforceable or invalid in whole or in part for any reason, such illegal, unenforceable or invalid provision or part thereof shall be stricken from this contract, and such provision shall not affect the legality, enforceability, or validity of the remainder of this contract. If any provision or part thereof of this contract is stricken in accordance with the provisions of this section, then the stricken provision shall be replaced, to the extent possible, with a legal, enforceable, and valid provision that is as similar in tenor to the stricken provision as legally possible.

14.) ENTIRE AGREEMENT – This contract and all other agreements, exhibits, attachments, and schedules referred to in this contract constitute the final, complete, and exclusive statement of the terms of the agreement between the parties pertaining to the subject matter of this contract and supersedes all prior and contemporaneous understandings or agreements of the parties. No party has been induced to enter into this contract by, nor is any party relying on, any representation, understanding, agreement, commitment or warranty outside those expressly set forth in this contract.

IN WITNESS WHEREOF, the parties hereto have caused this agreement to be executed and intend for the agreement to be effective as of the date and year first specified above.

Allison Schwark, Municipal Code Enforcement, LLC Date

Approved by the Village Board of the Village of Williams Bay this ____ day of ____,
2025.

Adam Jaramillo, President Date

ATTEST:

Tina Koll, Clerk Date

**Zoning Administration and Land Division Services Contract between the Village
of Williams Bay and Municipal Code Enforcement, LLC**

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RECITALS:

WHEREAS, the Village requires zoning and land division administration services; and

WHEREAS, MCE maintains an agency that regularly enforces and administers municipal and zoning codes and land division ordinances for various municipalities, providing services that include, but are not limited to, review of the municipal code, response to property zoning complaints, completion of zoning inspections, preparation of written orders, preparation and issuance of citations, review of zoning and land division applications, preparation and review of staff recommendations, and other miscellaneous zoning and land division administration activities; and

WHEREAS, the Village and MCE desire to contract with each other for such zoning and land division administration services as set forth herein, to be provided by MCE to the Village; and

WHEREAS, the Village agrees to compensate MCE at the rate set forth herein for performing these services.

NOW THEREFORE, for valuable consideration, and with the express intention on the part of both parties that this contract is legally binding, the parties do agree to the following:

1.) SCOPE OF SERVICES – MCE agrees to serve as zoning administrator and provide the Village with the following services:

- **Zoning and Land Division Administration, Violation Monitoring, and Enforcement**
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 - Preliminary Plat
 - Final Plat
 - Certified Survey Map

- Project Concept Review
- Conceptual Land Division
- Joint Conditional Use & Rezoning
- Joint Rezoning and Certified Survey Map
- Extraterritorial Zoning Board
- Subdivision advisory assistance
- Zoning Board of Appeals/Adjustment
- Recommendations to Plan Commission
- Other miscellaneous reviews as requested by Village staff.
- Office hours shall be:
 - Two (2), 4-hour days per week

2.) DUTIES – MCE shall perform the zoning and land division administration services set out in the Scope of Services above for the Village. MCE’s jurisdiction shall be concurrent with the Village’s boundaries including extraterritorial boundaries. Within said jurisdiction, and in the performance of those duties, MCE shall have the full lawful authority and responsibility to enforce the Code and issue citations, specific Chapters and Sections of the Code, including ordinances for which a statutory counterpart exists. MCE’s agents and employees shall not have the authority to make arrests for violations of the Code. It is specifically the intent of the parties that MCE is not a law enforcement officer within the meaning of Wis. Stat. § 165.85(2)(c). MCE shall cooperate with the Village’s Police Department in investigating and issuing citations and other pursuing other enforcement activity as needed by the Village’s Police Department to complete matters originating with MCE’s investigative and Code enforcement duties.

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MCE shall send the Village an invoice every month detailing the number of hours provided and the amount owed. If an automatic renewal of this contract is enacted, as detailed below, this hourly rate shall increase by 3%, rounded to the nearest dollar, for each year that the automatic renewal takes place.

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- The Village of Williams Bay shall be named as an additional insured on MCE's insurance policies, on a primary and non-contributory basis, with subrogation rights against the Village waived.

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11.) INDEMNIFICATION – To the fullest extent permitted by law, MCE shall defend, indemnify, and hold harmless the Village, its elected and appointed officials, employees, consultants, and volunteers and others working on behalf of the Village, from and against any and all third-party claims, demands, suits, costs (including reasonable legal costs), expenses, and liabilities (“Claims”) alleging personal injury, including bodily injury or death, and/or property damage, but only to the extent that any such Claims are caused by the mistake, error, omission or negligence of MCE, or by any officer, employee, representative, or agent of MCE or the material breach of any obligation under this contract by MCE, or by any officer, employee, representative, or agent of MCE. MCE shall have no obligations under this section to the extent that any Claim arises as a result of MCE’s compliance with specific municipal laws, ordinances, rules, regulations, resolutions, executive orders, or other instructions received from the Village and lawfully and properly carried out by MCE. If either party becomes aware of any incident likely to give rise to a Claim under the above indemnities, it shall notify the other and both parties shall cooperate fully in investigating the incident. Nothing herein shall be construed to be a waiver of statutory liability immunity provided by Wisconsin Statutes and caselaw. This indemnification is further limited by the amounts of statutory limits of municipal liability provided by Wisconsin Statutes and caselaw.

12.) APPLICABLE LAW – This contract shall be governed in all respects by the law of the State of Wisconsin, and any litigation with respect thereto shall be brought in the courts of the State of Wisconsin.

13.) SEVERABILITY – If any term or provision in this contract is determined to be illegal, unenforceable or invalid in whole or in part for any reason, such illegal, unenforceable or invalid provision or part thereof shall be stricken from this contract, and such provision shall not affect the legality, enforceability, or validity of the remainder of this contract. If any provision or part thereof of this contract is stricken in accordance with the provisions of this section, then the stricken provision shall be replaced, to the extent possible, with a legal, enforceable, and valid provision that is as similar in tenor to the stricken provision as legally possible.

14.) ENTIRE AGREEMENT – This contract and all other agreements, exhibits, attachments, and schedules referred to in this contract constitute the final, complete, and exclusive statement of the terms of the agreement between the parties pertaining to the subject matter of this contract and supersedes all prior and contemporaneous understandings or agreements of the parties. No party has been induced to enter into this contract by, nor is any party relying on, any representation, understanding, agreement, commitment or warranty outside those expressly set forth in this contract.

IN WITNESS WHEREOF, the parties hereto have caused this agreement to be executed and intend for the agreement to be effective as of the date and year first specified above.

Allison Schwark, Municipal Code Enforcement, LLC Date

Approved by the Village Board of the Village of Williams Bay this ____ day of ____,
2025.

Adam Jaramillo, President Date

ATTEST:

Tina Koll, Clerk Date



VILLAGE OF WILLIAMS BAY

TO: VILLAGE PRESIDENT JARAMILLO AND TRUSTEES

FROM: DAVID A. LOTH SPEICH, VILLAGE ADMINISTRATOR

DATE: APRIL 29, 2025

RE: ZONING ADMINISTRATOR POSITION

Zoning Administrator Bonnie Schaeffer submitted the enclosed March 5th notice of retirement with her final day being June 4, 2025. In an effort to ensure a smooth transition without gaps in service, it is important that this position be filled sooner than later. The Zoning Administrator position was advertised on April 11 and closed on April 29.

The position advertisement was posted on the Village Website on April 11 and the following professional associations job boards on April 14, 2025: (1) Wisconsin City Managers Association; (2) Illinois City Managers Association; (3) League of Wisconsin Municipalities and (4) MGT Impact Solutions (formerly GovHR)

In addition, the following zoning companies were directly sent the advertisement: (1) Civi Tek Consulting; (2) Vandewalle Associates; (3) Vierbicher Associates; (4) En Code Plus and (5) Teska. The position was also posted on Indeed but was withdrawn after two days after receiving many "clicks" and five applications from individuals with no zoning experience or education.

The Village received the following four qualified applications:

(1) Allison Schawk (Municipal Code Enforcement, LLC)

Delavan WI (8 miles, 16 min)

\$52/hr

(2) Matt Ziska (Willdan Engineering)

Madison WI (69 miles, 1hr. 15 min)

\$140 hr

(3) Pat Gorski

Chicago IL (80+ miles, 1 hr. 45 min+)

\$85 hr. plus charge hourly rate for travel time.

(4) Nic Miles

Stoughton WI (54 miles, 1 hr.+)

\$45/hr

Code Enforcement Officer Allison Schwark (Municipal Code Enforcement, LLC) has previous experience as zoning administrator for the communities of Elkhorn, Whitewater and Fontana. Zoning Administrator Bonnie Schaeffer has experience in working with Allison in this role and has favorable recommendation and in my experience in working with Allison she has the technical knowledge and experience to fill this position.

Based upon review of the applications received, Staff recommends the selection of Allison Schwark. Allison has confirmed her attendance for interview at the BZO (8:30 am) and FP (9:30 am) Committee meetings on Thursday, May 1, 2025. Procedurally, BZO will review and make recommendation on the selection to FP for review of the financial impact and terms of the Agreement for recommendation to the Village Board. Village Board will then consider the recommendations on May 5 or May 19 if needed. Ideally this position would be filled at least 2 weeks prior to Bonnie's retirement, which is May 21st.



VILLAGE OF WILLIAMS BAY

Office of the Zoning Administrator

May 2, 2025

TO: Williams Bay Village Board Members

RE: Pier Expansion Application Review

Property Owner: Mark Soderquist

Property Address: 254 Circle Pkwy.

DNR Application #IP-SE-2025-65-00319

The proposed project is for an 8' x 15' addition to the existing cribbed pier. The overall length of the pier will remain at 64.5 feet.

The WI DNR has approved the project, and a copy of the permit is included with the Village application.

The proposed modification is in compliance with Section 281-5.F(2) regarding the 12.5' distance from riparian right lines and Section 281-1.H(2)(a) regarding the established 100' pierhead line.

Respectfully submitted,

Bonnie Schaeffer
Zoning Administrator



Zoning Permit Application Village of Williams Bay

250 Williams Street x PO Box 580 x Williams Bay, WI 53191
Phone: 262-245-2700 x Fax: 262-245-2705

Request:

Please check all that apply.

- ☐ Residential Principal Use 1 or 2 Family \$175.00
☐ Residential Addition \$75.00
☐ Residential Accessory Use \$75.00
☐ Fence \$75.00
☐ Deck \$75.00
☐ Swimming Pool \$100.00
☐ Commercial Principal Use (includes multi-family) \$150.00
☐ Commercial Addition \$100.00
☐ Commercial Accessory Use \$100.00
☐ Signage \$50.00 first 20 sq. ft. plus \$.50 per sq. ft. thereafter
☐ Lakefront and Shoreyard Projects \$75.00
☒ Other: Pier Fee: 175.00

Date application was received:

Fee Paid: _____

Please answer all applicable. Missing or incomplete information may deem this application "incomplete," delaying or prohibiting a review.

Owner's Name: Mark Soderquist Phone No.: 773-230-1788

Mailing Address: P.O. Box 325, Oak Park, IL 60303

Applicant's Name: Colin Graeven Phone No.: 262 949 3064

Mailing Address: P.O. Box 12, Wauwatosa, WI 53184

Physical Address of Site: 254 Circle PKWY, Williams Bay, WI Tax Parcel No: WCP3 00017

Subdivision Name: Ledges Point Park 3rd Lot No. 219 Block No. _____

Current Zoning of Site: A-Residential Current Overlay Districts of Site: _____

Proposed type of structure: Pier addition / Sundeck

Proposed use of structure or site: Recreation / Leisure use

Lot Area 16,858 sq. ft. Proposed Bldg. / Structure Footprint Area 117 sq. ft.

Existing Building Coverage on Site: _____% Proposed _____%

Existing Impervious Surface Coverage on Site: _____% Proposed _____%

Proposed Setbacks: Front N/A Rear N/A Left _____ Right 18'

Proposed Building Height _____ ft.

Applicant's Signature: [Signature] Date: 4/23/2025

OFFICE USE ONLY:

PERMIT FEES:

Permit \$ _____
Admin Fee \$ _____
Other \$ _____
Total \$ _____

PERMIT ISSUED BY:

Name: _____ Date: _____
Tel: _____ Permit No. _____

CONDITIONS OF APPROVAL:

State of Wisconsin
DEPARTMENT OF NATURAL RESOURCES
1027 W St. Paul Ave.
Milwaukee, WI, 53233

Tony Evers, Governor
Karen Hyun, Ph.D., Secretary
Telephone 608-266-2621
Toll Free 1-888-936-7463
TTY Access via relay - 711



4/1/2025

Mark Soderquist
P.O. Box 3215
Oak Park, IL 60303
[sent electronically]

IP-SE-2025-65-00319

RE: Application to modify a pier on Geneva Lake in the Village of Williams Bay, Walworth County

Dear Mr. Soderquist:

The Department of Natural Resources has completed its review of your application for a permit to modify a pier on Geneva Lake located in the NW 1/4, NE 1/4, Section 07, Township 01, Range 17E, Village of Williams Bay, Walworth County. You will be pleased to know your application is approved.

I am attaching a copy of your permit, which lists the many important conditions that must be followed to protect water quality and habitat. **A copy of the permit must be posted for reference at the project site.** Please read your permit conditions carefully so that you are fully aware of what is expected of you.

Please note you are required to submit photographs of the completed project within 7 days after you've finished construction. This helps both of us to document the completion of the project and compliance with the permit conditions.

Your next step will be to notify me of the date on which you plan to start construction and again after your project is complete.

If you have any questions about your permit, please call me at (608) 575-9849 or you can reach me by email at alison.masek@wisconsin.gov.

Sincerely,

Alison Masek
Water Management Specialist

Email CC:
U.S. Army Corps of Engineers

STATE OF WISCONSIN
DEPARTMENT OF NATURAL RESOURCES

PIER PERMIT
IP-SE-2025-65-00319

Application of Mark Soderquist is hereby granted under Sections 30.12 and 30.208, Wisconsin Statutes, a permit to place a pier on Geneva Lake located in the NW 1/4, NE 1/4, Sec. 07, T. 01, R. 17E, Village of Williams Bay, Walworth County, subject to the following conditions:

PERMIT

1. You must notify Alison Masek at phone (608) 575-9849 or email alison.masek@wisconsin.gov before starting construction and again not more than 5 days after the project is complete.
2. You must complete the project as described **on or before 4/1/2028**. If you will not complete the project by this date, you must submit a written request for an extension prior to expiration of the initial time limit specified in the permit. Your request must identify the requested extension date. The Department shall extend the time limit for an individual permit or contract for no longer than an additional 5 years if you request the extension before the initial time limit expires. You may not begin or continue construction after the original permit expiration date unless the Department extends the permit in writing or grants a new permit.
3. This permit does not authorize any work other than what you specifically describe in your application and plans, and as modified by the conditions of this permit. If you wish to alter the project or permit conditions, you must first obtain written approval of the Department.
4. Before you start your project, you must first obtain any permit or approval that may be required for your project by local zoning ordinances and by the U.S. Army Corps of Engineers. You are responsible for contacting these local and federal authorities to determine if they require permits or approvals for your project. These local and federal authorities are responsible for determining if your project complies with their requirements.
5. Upon reasonable notice, you shall allow access to your project site during reasonable hours to any Department employee who is investigating the project's construction, operation, maintenance or permit compliance.
6. The Department may modify or revoke this permit for good cause, including if the project is not completed according to the terms of the permit or if the Department determines the activity is detrimental to the public interest.
7. **You must post a copy of this permit at a conspicuous location on the project site, visible from the waterway**, for at least five days prior to construction, and remaining at least five days after construction. You must also have a copy of the permit and approved plan available at the project site at all times until the project is complete.
8. Your acceptance of this permit and efforts to begin work on this project signify that you have read, understood and agreed to follow all conditions of this permit.
9. **You must submit a series of photographs to the Department, within one week of completing work on the site.** The photographs must be taken from different vantage points and depict all work authorized by this permit.
10. You, your agent, and any involved contractors or consultants may be considered a party to the violation pursuant to Section 30.292, Wis. Stats., for any violations of Chapter 30, Wisconsin Statutes, or this permit.
11. Construction shall be accomplished in such a manner as to minimize erosion and siltation into surface waters. Erosion control measures (such as silt fence and straw bales) must meet or exceed the technical standards of ch. NR 151, Wis. Adm. Code. The technical standards are found at: http://dnr.wi.gov/topic/stormwater/standards/const_standards.html.
12. All equipment used for the project including but not limited to tracked vehicles, barges, boats, hoses, sheet pile and pumps shall be de-contaminated for invasive and exotic viruses and species prior to use and after use.

The following steps must be taken every time you move your equipment to avoid transporting invasive and exotic viruses and species. To the extent practicable, equipment and gear used on infested waters shall not be used on other non-infested waters.

1. **Inspect and remove** aquatic plants, animals, and mud from your equipment.
2. **Drain all water** from your equipment that comes in contact with infested waters, including but not limited to tracked vehicles, barges, boats, hoses, sheet pile and pumps.
3. **Dispose** of aquatic plants, animals in the trash. Never release or transfer aquatic plants, animals or water from one waterbody to another.
4. **Wash your equipment** with hot (>140° F) and/or high-pressure water,
- OR -
Allow your equipment to **dry thoroughly for 5 days.**

SPECIFIC PIER CONDITIONS:

13. If foam flotation is used, this material must be completely coated or contained to resist deterioration from the elements and gasoline. A written description of the proposed material must be submitted to the Department for approval prior to use.
14. No mooring buoys beyond those expressly authorized by this permit are allowed without an amendment of this permit.
15. The pier must allow the free movement of water (using a post or pile driven design) and must not entrap vegetation.
16. The pier must not enclose any portion of the navigable waterway.
17. This permit and plans must be encased in plastic and legibly displayed along the water's edge during construction and for 30 days after construction of this pier. The purpose of this condition is to allow Department staff and the public to monitor the project and to ensure compliance with the conditions of the project.
18. This permit authorizes future maintenance to the piers; however, no change can be made to the type of materials, number of slips, or pier configuration without written approval from the Department or amendment of this permit.
19. This pier must not interfere with the rights of other riparians.
20. You must not cover the piers or slips, or allow any buildings or other structures to be placed or constructed on the piers.
21. Piers and pilings are limited are limited to colors which are not visually intrusive as viewed against the shoreline.
22. Lighting for safety or to facilitate docking may be included and should be down focused, non-intermittent white or yellow light.
23. Flotation devices must be securely attached to the pier and maintained in a serviceable condition.
24. Roofs, walls, and advertising signs may not be included on the piers. A sign of reasonable dimensions to identify the property is permissible on the upland area only.

FINDINGS OF FACT

1. Mark Soderquist, P.O. Box 3215, Oak Park, IL 60303, filed an application with this Department on 02/06/2025, under sections Sections 30.12 and 30.208, Wisconsin Statutes, to place a pier on Geneva Lake located in the NW 1/4, NE 1/4, Sec. 07, T. 01, R. 17E, Village of Williams Bay, Walworth County.
2. The applicant proposes to add a loading platform.
3. The Department has evaluated the project as described in the application and plans.
4. Geneva Lake is a navigable water.

5. The proposed project, if constructed in accordance with this permit will not adversely affect water quality, will not increase water pollution in surface waters and will not cause environmental pollution as defined in s. 283.01(6m), Wis. Stats.

6. The proposed project will not impact wetlands if constructed in accordance with this permit.

7. The Department of Natural Resources has determined that the agency's review of the proposed project constitutes an integrated analysis action under s. NR 150.20(2), Wis. Adm. Code. The Department has considered the impacts on the human environment, alternatives to the proposed projects and has provided opportunities for public disclosure and comment. The Department has completed all procedural requirements of s. 1.11(2)(c), Wis. Stats., and NR 150, Wis. Adm. Code for this project.

8. The Department of Natural Resources has completed all procedural requirements and the project as permitted will comply with all applicable requirements of Sections 30.12 and 30.208, Wisconsin Statutes and Chapters NR 102, 103, and 326 of the Wisconsin Administrative Code.

The applicant was responsible for fulfilling the procedural requirements for publication of notices under s. 30.208(5)(c)1m., Stats., and was responsible for publication of the notice of pending application under s.30.208(3)(a), Stats. or the notice of public informational hearing under s.30.208(3)(c), Stats., or both. S. 30.208(3)(e), Stats., provides that if no public hearing is held, the Department must issue its decision within 30 days of the 30-day public comment period, and if a public hearing is held, the Department must issue its decision within 20 days after the 10-day period for public comment after the public hearing. S. 30.208(5)(bm), Stats., requires the Department to consider the date on which the department publishes a notice on its web site as the date of notice.

9. The structure or deposit will not materially obstruct navigation because the pier length is not being expanded.

10. The structure or deposit will not be detrimental to the public interest because resource managers reviewed the project and recommended to grant with usual conditions.

11. The structure or deposit will not materially reduce the flood flow capacity of a stream.

CONCLUSIONS OF LAW

1. The Department has authority under the above indicated Statutes and Administrative Codes, to issue a permit for the construction and maintenance of this project.

2. The Department has complied with s. 1.11, Wis. Stats.

NOTICE OF APPEAL RIGHTS

If you believe that you have a right to challenge this decision, you should know that the Wisconsin statutes and administrative rules establish time periods within which requests to review Department decisions shall be filed. For judicial review of a decision pursuant to sections 227.52 and 227.53, Wis. Stats., you have 30 days after the decision is mailed, or otherwise served by the Department, to file your petition with the appropriate circuit court and serve the petition on the Department. Such a petition for judicial review shall name the Department of Natural Resources as the respondent.

To request a contested case hearing of any individual permit decision pursuant to section 30.209, Wis. Stats., you have 30 days after the decision is mailed, or otherwise served by the Department, to serve a petition for hearing on the Secretary of the Department of Natural Resources, P.O. Box 7921, Madison, WI, 53707-7921. The petition shall be in writing, shall be dated and signed by the petitioner, and shall include as an attachment a copy of the decision for which administrative review is sought. If you are not the applicant, you must simultaneously provide a copy of the petition to the applicant. If you wish to request a stay of the project, you must provide information, as outlined below, to show that a stay is necessary to prevent significant adverse impacts or irreversible harm to the environment. If you are not the permit applicant, you must provide a copy of the petition to the permit applicant at the same time that you serve the petition on the Department.

The filing of a request for a contested case hearing is not a prerequisite for judicial review and does not extend the 30 day period for filing a petition for judicial review.

A request for contested case hearing must meet the requirements of section 30.209, Wis. Stats., and sections NR 2.03, 2.05, and 300.09(5), Wis. Admin. Code, and if the petitioner is not the applicant the petition must include the following information:

1. A description of the objection that is sufficiently specific to allow the department to determine which provisions of this section may be violated if the proposed permit or contract is allowed to proceed.
2. A description of the facts supporting the petition that is sufficiently specific to determine how the petitioner believes the project, as proposed, may result in a violation of Chapter 30, Wis. Stats;.
3. A commitment by the petitioner to appear at the administrative hearing and present information supporting the petitioner's objection.

If the petition contains a request for a stay of the project, the petition must also include information showing that a stay is necessary to prevent significant adverse impacts or irreversible harm to the environment.

Dated at the Southeast Region Headquarters, Wisconsin on 4/1/2025.

STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES

For the Secretary

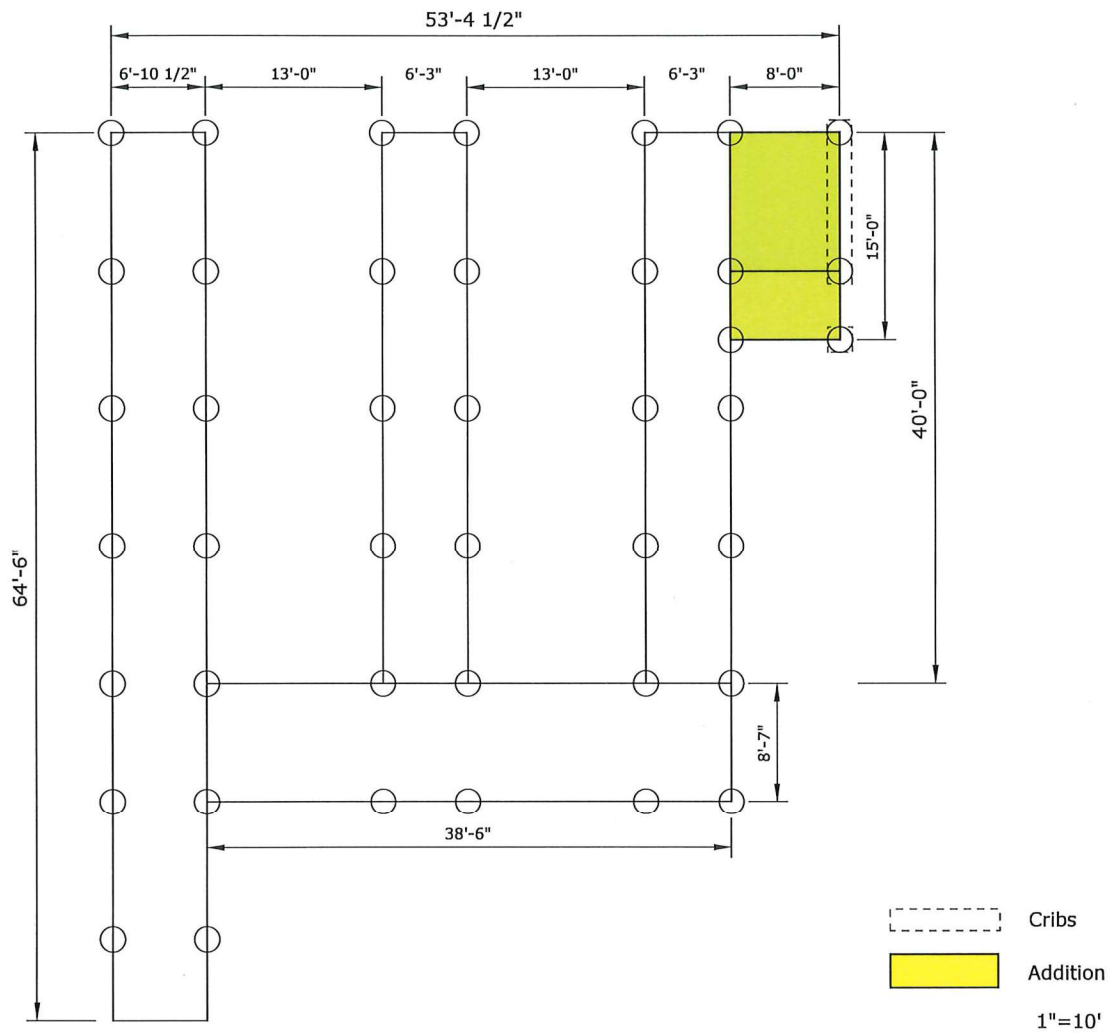
By:



Alison Masek

Water Management Specialist

Soderquist Proposed Pier





VILLAGE OF WILLIAMS BAY

Office of the Zoning Administrator

May 2, 2025

TO: Williams Bay Village Board Members

RE: Pier Expansion Application Review

Property Owner: Kurt Ripkey

Property Address: 100 Birch Walnut Dr.

DNR Application #IP-SE-2025-65-00268

The proposed project is for a pier slip addition (17' x 46') to the existing cribbed pier. The overall length of the pier will remain at 80 feet.

The WI DNR has approved the project, and a copy of the permit is included with the Village application.

The proposed modification is in compliance with Section 281-5.F(2) regarding the 12.5' distance from riparian right lines and Section 281-1.H(2)(a) regarding the established 100' pierhead line.

Respectfully submitted,

Bonnie Schaeffer
Zoning Administrator



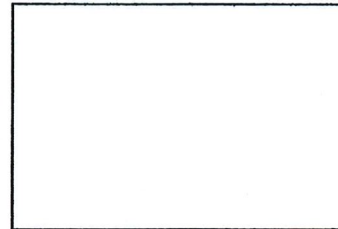
Zoning Permit Application Village of Williams Bay

250 Williams Street x PO Box 580 x Williams Bay, WI 53191
Phone: 262-245-2700 x Fax: 262-245-2705

Request:
Please check all that apply.

- ☐ Residential Principal Use 1 or 2 Family \$175.00
- ☐ Residential Addition \$75.00
- ☐ Residential Accessory Use \$75.00
- ☐ Fence \$75.00
- ☐ Deck \$75.00
- ☐ Swimming Pool \$100.00
- ☐ Commercial Principal Use (includes multi-family) \$150.00
- ☐ Commercial Addition \$100.00
- ☐ Commercial Accessory Use \$100.00
- ☐ Signage \$50.00 first 20 sq. ft. plus \$.50 per sq. ft. thereafter
- ☐ Lakefront and Shoreyard Projects \$75.00
- ☒ Other: Pics Fee: 175.00

Date application was received:



Fee Paid: _____

Please answer all applicable. Missing or incomplete information may deem this application "incomplete," delaying or prohibiting a review.

Owner's Name: Kurt Ripkey Phone No.: 847 212 9529

Mailing Address: 100 Birch Walnut Dr, Williams Bay, WI 53191

Applicant's Name: Colin Grawen Phone No. 262 949 3064

Mailing Address: P.O. Box 12, Walworth, WI 53184

Physical Address of Site: 100 Birch Walnut Dr, Williams Bay, WI Tax Parcel No: WCP1 00030

Subdivision Name: Ledge Point Park 1st Lot No. 29 + 30 Block No. _____

Current Zoning of Site: A-Residential Current Overlay Districts of Site: N/A

Proposed type of structure: Pics addition

Proposed use of structure or site: Recreational / Leisure use

Lot Area 23,522 sq. ft. Proposed Bldg. / Structure Footprint Area 369 1/2 sq. ft.

Existing Building Coverage on Site: _____ % Proposed _____ %

Existing Impervious Surface Coverage on Site: _____ % Proposed _____ %

Proposed Setbacks: Front N/A Rear N/A Left 19 1/2' Right 0'

Proposed Building Height N/A ft.

Applicant's Signature: [Signature] Date: 4/17/2025

OFFICE USE ONLY:

PERMIT FEES:		PERMIT ISSUED BY:	
Permit	\$ _____	Name: _____	Date: _____
Admin Fee	\$ _____		
Other	\$ _____		
Total	\$ _____	Tel: _____	Permit No. _____
CONDITIONS OF APPROVAL:			

State of Wisconsin
DEPARTMENT OF NATURAL RESOURCES
1027 W St. Paul Ave.
Milwaukee, WI, 53233

Tony Evers, Governor
Karen Hyun, Ph.D., Secretary
Telephone 608-266-2621
Toll Free 1-888-936-7463
TTY Access via relay - 711



4/1/2025

Kurt Ripkey
100 Birch Walnut Dr
Williams Bay, WI 53191
[sent electronically]

IP-SE-2025-65-00268

RE: Application to expand a pier on Geneva Lake in the Village of Williams Bay, Walworth County

Dear Mr. Ripkey:

The Department of Natural Resources has completed its review of your application for a permit to expand a pier on Geneva Lake located in the NW 1/4, SE 1/4, Section 06, Township 01, Range 17E, Village of Williams Bay, Walworth County. You will be pleased to know your application is approved.

I am attaching a copy of your permit, which lists the many important conditions that must be followed to protect water quality and habitat. **A copy of the permit must be posted for reference at the project site.** Please read your permit conditions carefully so that you are fully aware of what is expected of you.

Please note you are required to submit photographs of the completed project within 7 days after you've finished construction. This helps both of us to document the completion of the project and compliance with the permit conditions.

Your next step will be to notify me of the date on which you plan to start construction and again after your project is complete.

If you have any questions about your permit, please call me at (608) 575-9849 or you can reach me by email at alison.masek@wisconsin.gov.

Sincerely,

Alison Masek
Water Management Specialist

Email CC:
U.S. Army Corps of Engineers

STATE OF WISCONSIN
DEPARTMENT OF NATURAL RESOURCES

PIER PERMIT
IP-SE-2025-65-00268

Application of Kurt Ripkey is hereby granted under Sections 30.12 and 30.208, Wisconsin Statutes, a permit to expand a pier on Geneva Lake located in the NW 1/4, SE 1/4, Sec. 06, T. 01, R. 17E, Village of Williams Bay, Walworth County, subject to the following conditions:

PERMIT

1. You must notify Alison Masek at phone (608) 575-9849 or email alison.masek@wisconsin.gov before starting construction and again not more than 5 days after the project is complete.
2. You must complete the project as described **on or before 4/1/2028**. If you will not complete the project by this date, you must submit a written request for an extension prior to expiration of the initial time limit specified in the permit. Your request must identify the requested extension date. The Department shall extend the time limit for an individual permit or contract for no longer than an additional 5 years if you request the extension before the initial time limit expires. You may not begin or continue construction after the original permit expiration date unless the Department extends the permit in writing or grants a new permit.
3. This permit does not authorize any work other than what you specifically describe in your application and plans, and as modified by the conditions of this permit. If you wish to alter the project or permit conditions, you must first obtain written approval of the Department.
4. Before you start your project, you must first obtain any permit or approval that may be required for your project by local zoning ordinances and by the U.S. Army Corps of Engineers. You are responsible for contacting these local and federal authorities to determine if they require permits or approvals for your project. These local and federal authorities are responsible for determining if your project complies with their requirements.
5. Upon reasonable notice, you shall allow access to your project site during reasonable hours to any Department employee who is investigating the project's construction, operation, maintenance or permit compliance.
6. The Department may modify or revoke this permit for good cause, including if the project is not completed according to the terms of the permit or if the Department determines the activity is detrimental to the public interest.
7. **You must post a copy of this permit at a conspicuous location on the project site, visible from the waterway**, for at least five days prior to construction, and remaining at least five days after construction. You must also have a copy of the permit and approved plan available at the project site at all times until the project is complete.
8. Your acceptance of this permit and efforts to begin work on this project signify that you have read, understood and agreed to follow all conditions of this permit.
9. **You must submit a series of photographs to the Department, within one week of completing work on the site.** The photographs must be taken from different vantage points and depict all work authorized by this permit.
10. You, your agent, and any involved contractors or consultants may be considered a party to the violation pursuant to Section 30.292, Wis. Stats., for any violations of Chapter 30, Wisconsin Statutes, or this permit.
11. Construction shall be accomplished in such a manner as to minimize erosion and siltation into surface waters. Erosion control measures (such as silt fence and straw bales) must meet or exceed the technical standards of ch. NR 151, Wis. Adm. Code. The technical standards are found at: http://dnr.wi.gov/topic/stormwater/standards/const_standards.html.
12. All equipment used for the project including but not limited to tracked vehicles, barges, boats, hoses, sheet pile and pumps shall be de-contaminated for invasive and exotic viruses and species prior to use and after use.

The following steps must be taken every time you move your equipment to avoid transporting invasive and exotic viruses and species. To the extent practicable, equipment and gear used on infested waters shall not be used on other non-infested waters.

1. **Inspect and remove** aquatic plants, animals, and mud from your equipment.
2. **Drain all water** from your equipment that comes in contact with infested waters, including but not limited to tracked vehicles, barges, boats, hoses, sheet pile and pumps.
3. **Dispose** of aquatic plants, animals in the trash. Never release or transfer aquatic plants, animals or water from one waterbody to another.
4. **Wash your equipment** with hot (>140° F) and/or high-pressure water,
- OR -
Allow your equipment to **dry thoroughly for 5 days.**

SPECIFIC PIER CONDITIONS:

13. If foam flotation is used, this material must be completely coated or contained to resist deterioration from the elements and gasoline. A written description of the proposed material must be submitted to the Department for approval prior to use.
14. No mooring buoys beyond those expressly authorized by this permit are allowed without an amendment of this permit.
15. The pier must allow the free movement of water (using a post or pile driven design) and must not entrap vegetation.
16. The pier must not enclose any portion of the navigable waterway.
17. This permit and plans must be encased in plastic and legibly displayed along the water's edge during construction and for 30 days after construction of this pier. The purpose of this condition is to allow Department staff and the public to monitor the project and to ensure compliance with the conditions of the project.
18. This permit authorizes future maintenance to the piers; however, no change can be made to the type of materials, number of slips, or pier configuration without written approval from the Department or amendment of this permit.
19. This pier must not interfere with the rights of other riparians.
20. You must not cover the piers or slips, or allow any buildings or other structures to be placed or constructed on the piers.
21. Piers and pilings are limited are limited to colors which are not visually intrusive as viewed against the shoreline.
22. Lighting for safety or to facilitate docking may be included and should be down focused, non-intermittent white or yellow light.
23. Flotation devices must be securely attached to the pier and maintained in a serviceable condition.
24. Roofs, walls, and advertising signs may not be included on the piers. A sign of reasonable dimensions to identify the property is permissible on the upland area only.

FINDINGS OF FACT

1. Kurt Ripkey, 100 Birch Walnut Dr, Williams Bay, WI 53191, filed an application with this Department on 01/31/2025, under sections Sections 30.12 and 30.208, Wisconsin Statutes, to place a pier on Geneva Lake located in the NW 1/4, SE 1/4, Sec. 06, T. 01, R. 17E, Village of Williams Bay, Walworth County.
2. The applicant proposes to add a slip to an existing pier.
3. The Department has completed an investigation of the project site and has evaluated the project as described in the application and plans.

4. Geneva Lake is a navigable water.

5. The proposed project, if constructed in accordance with this permit will not adversely affect water quality, will not increase water pollution in surface waters and will not cause environmental pollution as defined in s. 283.01(6m), Wis. Stats.

6. The proposed project will not impact wetlands if constructed in accordance with this permit.

7. The Department of Natural Resources has determined that the agency's review of the proposed project constitutes an integrated analysis action under s. NR 150.20(2), Wis. Adm. Code. The Department has considered the impacts on the human environment, alternatives to the proposed projects and has provided opportunities for public disclosure and comment. The Department has completed all procedural requirements of s. 1.11(2)(c), Wis. Stats., and NR 150, Wis. Adm. Code for this project.

8. The Department of Natural Resources has completed all procedural requirements and the project as permitted will comply with all applicable requirements of Sections 30.12 and 30.208, Wisconsin Statutes and Chapters NR 102, 103, and 326 of the Wisconsin Administrative Code.

9. The applicant was responsible for fulfilling the procedural requirements for publication of notices under s. 30.208(5)(c)1m., Stats., and was responsible for publication of the notice of pending application under s.30.208(3)(a), Stats. or the notice of public informational hearing under s.30.208(3)(c), Stats., or both. S. 30.208(3)(e), Stats., provides that if no public hearing is held, the Department must issue its decision within 30 days of the 30-day public comment period, and if a public hearing is held, the Department must issue its decision within 20 days after the 10-day period for public comment after the public hearing. S. 30.208(5)(bm), Stats., requires the Department to consider the date on which the department publishes a notice on its web site as the date of notice.

10. The structure or deposit will not materially obstruct navigation because the pier length is not expanding.

11. The structure or deposit will/will not be detrimental to the public interest because resource managers have reviewed the project and recommended to approve the permit.

12. The structure or deposit will not materially reduce the flood flow capacity of a stream.

CONCLUSIONS OF LAW

1. The Department has authority under the above indicated Statutes and Administrative Codes, to issue a permit for the construction and maintenance of this project.

2. The Department has complied with s. 1.11, Wis. Stats.

NOTICE OF APPEAL RIGHTS

If you believe that you have a right to challenge this decision, you should know that the Wisconsin statutes and administrative rules establish time periods within which requests to review Department decisions shall be filed. For judicial review of a decision pursuant to sections 227.52 and 227.53, Wis. Stats., you have 30 days after the decision is mailed, or otherwise served by the Department, to file your petition with the appropriate circuit court and serve the petition on the Department. Such a petition for judicial review shall name the Department of Natural Resources as the respondent.

To request a contested case hearing of any individual permit decision pursuant to section 30.209, Wis. Stats., you have 30 days after the decision is mailed, or otherwise served by the Department, to serve a petition for hearing on the Secretary of the Department of Natural Resources, P.O. Box 7921, Madison, WI, 53707-7921. The petition shall be in writing, shall be dated and signed by the petitioner, and shall include as an attachment a copy of the decision for which administrative review is sought. If you are not the applicant, you must simultaneously provide a copy of the petition to the applicant. If you wish to request a stay of the project, you must provide information, as outlined below, to show that a stay is necessary to prevent

significant adverse impacts or irreversible harm to the environment. If you are not the permit applicant, you must provide a copy of the petition to the permit applicant at the same time that you serve the petition on the Department.

The filing of a request for a contested case hearing is not a prerequisite for judicial review and does not extend the 30 day period for filing a petition for judicial review.

A request for contested case hearing must meet the requirements of section 30.209, Wis. Stats., and sections NR 2.03, 2.05, and 300.09(5), Wis. Admin. Code, and if the petitioner is not the applicant the petition must include the following information:

1. A description of the objection that is sufficiently specific to allow the department to determine which provisions of this section may be violated if the proposed permit or contract is allowed to proceed.
2. A description of the facts supporting the petition that is sufficiently specific to determine how the petitioner believes the project, as proposed, may result in a violation of Chapter 30, Wis. Stats;.
3. A commitment by the petitioner to appear at the administrative hearing and present information supporting the petitioner's objection.

If the petition contains a request for a stay of the project, the petition must also include information showing that a stay is necessary to prevent significant adverse impacts or irreversible harm to the environment.

Dated at the Southeast Region Headquarters, Wisconsin on 4/1/2025.

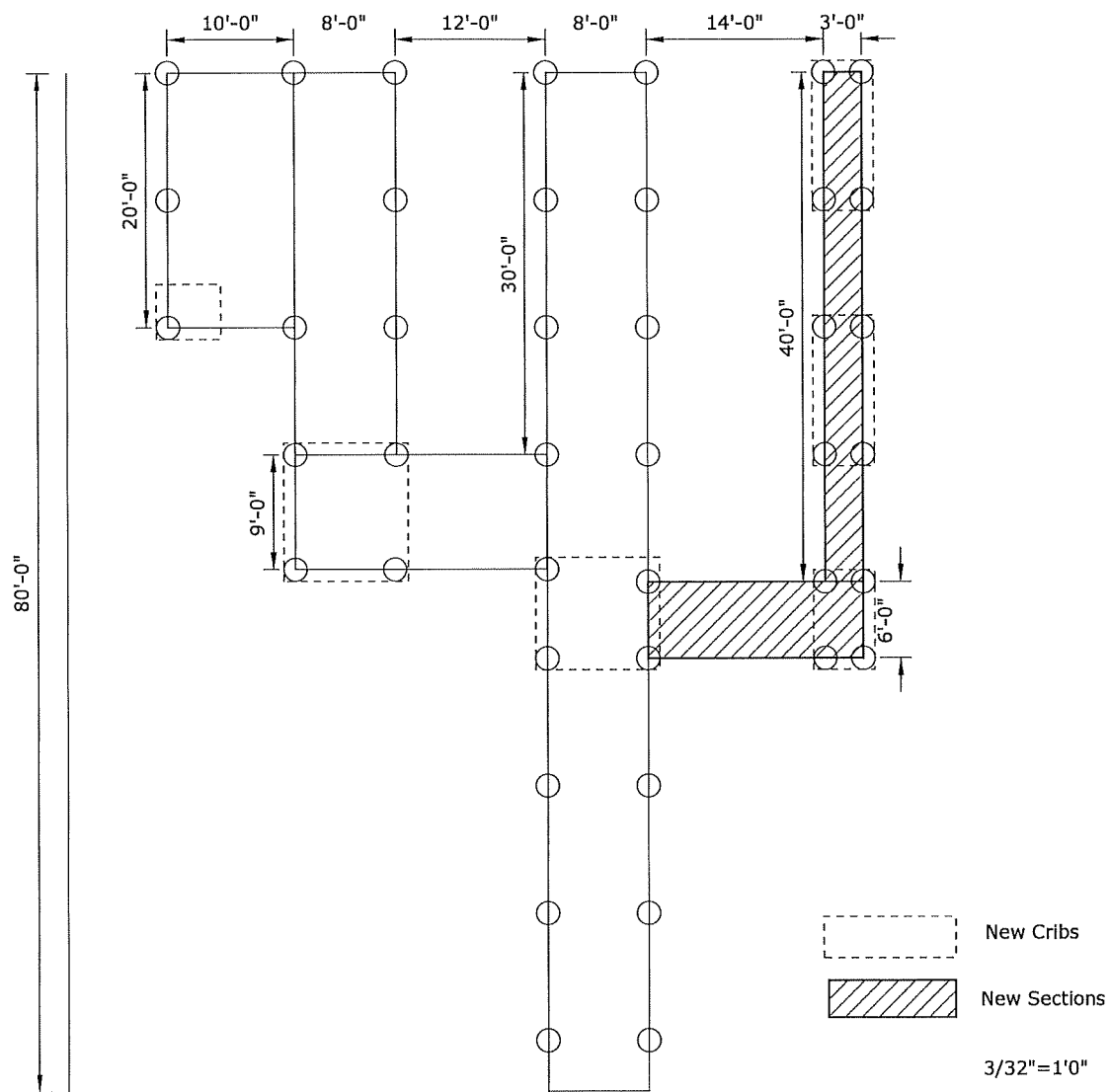
STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES
For the Secretary
By:



Alison Masek

Water Management Specialist

Ripkey Proposed Pier



PLAT OF SURVEY

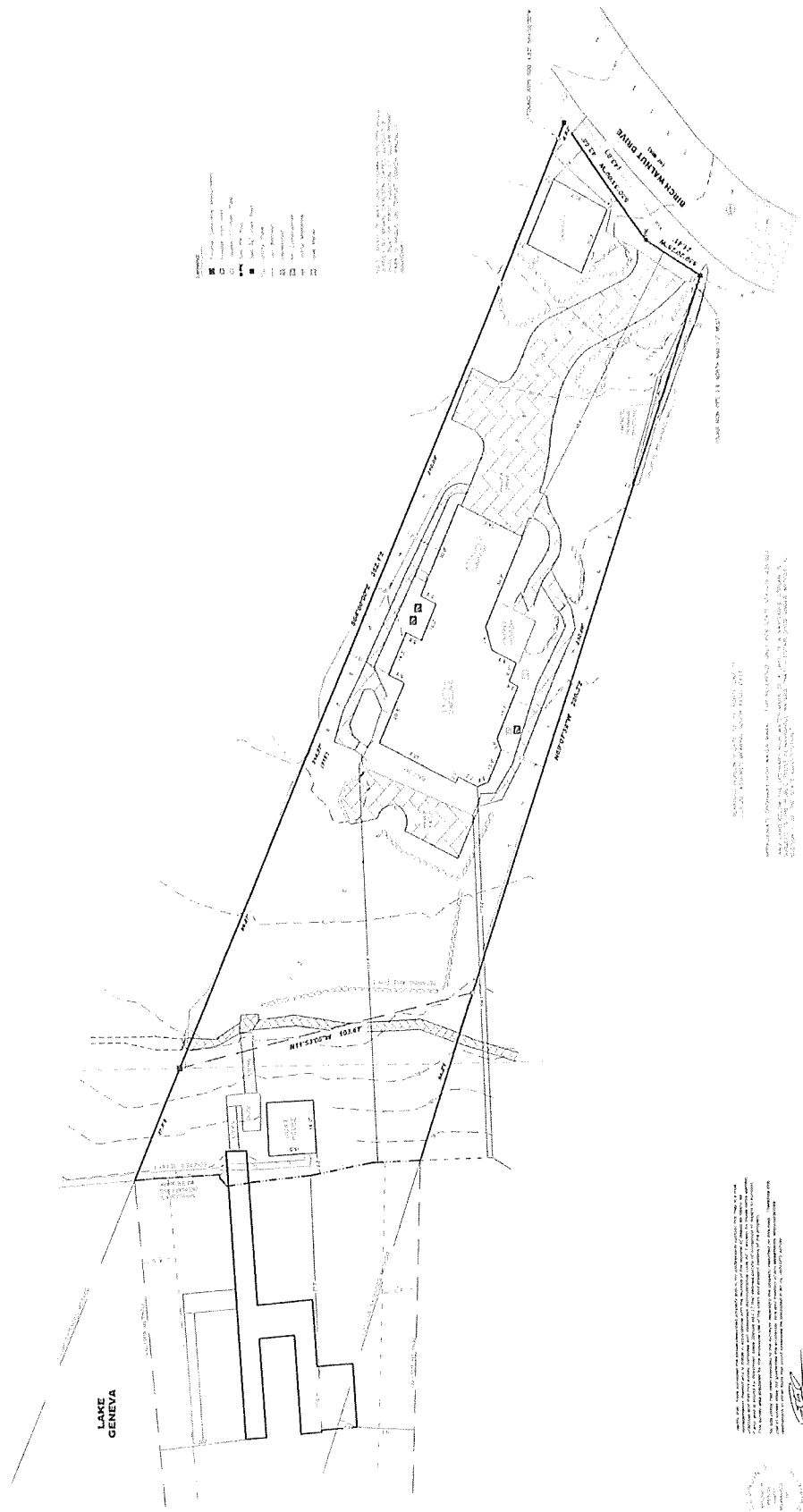
Recorded with the Register of Deeds for the State of Wisconsin, December 14, 2024.

LOCATION: 100 Birch Valley Drive
Williams Bay, WI 53194

PREPARED FOR: Kurt Rigney

PROPERTY DESCRIPTION: LOT 10 OF CEDAR POINT PARK TRACT
SECTION 16, T14N R14E S10W, WISCONSIN

TAX ID: WSP 12203



NOTES: The survey was conducted in accordance with the Wisconsin Surveying Act, Chapter 19. The survey was conducted by a licensed surveyor, and the results are shown on this plat. The survey was conducted on the 10th day of December, 2024. The survey was conducted by Kurt Rigney, a licensed surveyor in the State of Wisconsin. The survey was conducted in accordance with the Wisconsin Surveying Act, Chapter 19. The survey was conducted by a licensed surveyor, and the results are shown on this plat. The survey was conducted on the 10th day of December, 2024. The survey was conducted by Kurt Rigney, a licensed surveyor in the State of Wisconsin. The survey was conducted in accordance with the Wisconsin Surveying Act, Chapter 19.